

# VICINITY MAP





# **GENERAL NOTES**

1. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

2. ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. ALL CONSTRUCTION SHALL ADHERE TO SALT LAKE CITY AND APWA STANDARD PLANS AND SPECIFICATIONS.

4. ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

5. THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

# NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

# 1512 APARTMENTS

# PREPARED FOR: ELEV8 ARCHITECTURE LOCATED IN: 1512 SOUTH 300 WEST SALT LAKE CITY, UT



SITE MAP

# ENGINEER'S NOTES TO CONTRACTOR

1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.

2. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

3. UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

4. ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

(801) 352-0075

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BENCHMARK RTB SALT LAKE COUNTY MONUMENT 1700S TOWNSHIP 1 SOUTH RANGE 1 WEST SALT LAKE BASE AND MERIDIAN

ELEV: 4230.25 DATUM: NAVD 88



## SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES

## 1. COMPLIANCE:

ALL CONSTRUCTION AND MATERIALS SHALL BE ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, AND SLC PUBLIC UTILITIES MODIFICATIONS TO APWA STANDARD PLANS AND APPROVED MATERIALS AND SLC PUBLIC UTILITIES APWA SPECIFICATIONS MODIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED IN WRITING BY THE SALT LAKE CITY DIRECTOR OF PUBLIC UTILITIES.

## 2. COORDINATION:

THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL 8. ASPHALT GUARANTEE APPROPRIATE GOVERNMENT AND PRIVATE ENTITIES ASSOCIATED WITH THE PROJECT. THE FOLLOWING MUST BE CONTACTED 48-HOURS PRIOR TO CONSTRUCTION AS APPLICABLE TO THE PROJECT:

## PUBLIC UTILITIES:

- BACKFLOW PREVENTION 483-6795 **DEVELOPMENT REVIEW ENGINEERING - 483-6781**
- INSPECTIONS, PERMITS, CONTRACTS & AGREEMENTS 9. TEMPORARY ASPHALT 483-6727

#### PRETREATMENT - 799-4002 STORM WATER - 483-6721

- SLC DEPARTMENTS ENGINEERING - PUBLIC WAY PERMITS AND ISSUES 535-6248 ENGINEERING - SUBDIVISIONS - 535-6159
- FIRE DEPARTMENT 535-6636 PERMITS AND LICENSING (BLDG SERVICES) - 535-7752 PLANNING AND ZONING - 535-7700
- TRANSPORTATION 535-6630 - ALL OTHER POTENTIALLY IMPACTED GOVERNING 10. SAFETY
- AGENCIES OR ENTITIES - ALL WATER USERS INVOLVED IN WATER

#### MAIN SHUTDOWNS - APPLICABLE SEWER, WATER AND DRAINAGE DISTRICTS

- -BLUESTAKES LOCATING SERVICES 532-5000
- COUNTY FIRE DEPARTMENT 743-7231
- COUNTY FLOOD CONTROL 468-2779 - COUNTY HEALTH DEPARTMENT - 385-468-3913
- COUNTY PUBLIC WAY PERMITS 468-2241
- -HOLLADAY CITY 272-9450
- SALT LAKE COUNTY HIGHWAY DEPARTMENT 468-3705
- OR 468-2156 -THE UTAH TRANSIT AUTHORITY FOR RE-ROUTING
- SERVICE 262-5626 -UNION PACIFIC RAILROAD CO., SUPERINTENDENTS
- OFFICE 595-3405 -UTAH DEPARTMENT OF TRANSPORTATION, REGION #2 -
- 975-4800 - UTAH STATE ENGINEER - 538-7240

## 3. SCHEDULE

PRIOR TO CONSTRUCTION THE CONTRACTOR WILL PROVIDE, AND WILL UPDATE AS CHANGES OCCUR, A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE SPECIFICATIONS AND SALT LAKE CITY ENGINEERING OR SALT LAKE COUNTY REGULATIONS AS APPLICABLE FOR WORKING WITHIN THE PUBLIC WAY.

## PERMITS. FEES AND AGREEMENTS

CONTRACTOR MUST OBTAIN ALL THE NECESSARY PERMITS AND AGREEMENTS AND PAY ALL APPLICABLE FEES PRIOR TO ANY CONSTRUCTION ACTIVITIES. 13. PROJECT LIMITS CONTACT SALT LAKE CITY ENGINEERING (535-6248) FOR PERMITS AND INSPECTIONS REQUIRED FOR ANY WORK CONDUCTED WITHIN SALT LAKE CITY'S PUBLIC RIGHT-OF-WAY. APPLICABLE UTILITY PERMITS MAY INCLUDE MAINLINE EXTENSION AGREEMENTS AND SERVICE CONNECTION PERMITS. ALL UTILITY WORK MUST BE BONDED. ALL CONTRACTORS MUST BE LICENSED TO WORK ON CITY UTILITY MAINS.

CONSTRUCTION SITES MUST BE IN COMPLIANCE WITH THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM ACTIVITIES (538-6923). A COPY OF THE PERMIT'S STORM WATER POLLUTION PREVENTION PLAN MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADDITIONAL WATER QUALITY AND EROSION CONTROL MEASURES MAY BE REQUIRED. THE CONTRACTOR MUST ALSO COMPLY WITH SALT LAKE CITY'S CLEAN WHEEL ORDINANCE.

## 5. ASPHALT AND SOIL TESTING

THE CONTRACTOR IS TO PROVIDE MARSHALL AND PROCTOR TEST DATA 24-HOURS PRIOR TO USE. CONTRACTOR IS TO PROVIDE COMPACTION AND DENSITY TESTING AS REQUIRED BY SALT LAKE CITY ENGINEERING, UDOT, SALT LAKE COUNTY OR OTHER GOVERNING ENTITY. TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS, SECTION 330520 BACKFILLING TRENCHES, OR AS REQUIRED BY THE SLC PROJECT ENGINEER IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED WITHIN THE PIPE ZONE. THE MAXIMUM LIFTS FOR BACKFILLING EXCAVATIONS IS 8-INCHES. ALL MATERIALS AND COMPACTION TESTING IS TO BE PERFORMED BY A LAB RECOGNIZED AND ACCEPTED BY SALT LAKE COUNTY PUBLIC WORKS AND/OR SALT LAKE CITY ENGINEERING.

## 6. TRAFFIC CONTROL AND HAUL ROUTES

TRAFFIC CONTROL MUST CONFORM TO THE MOST CURRENT EDITION OF SALT LAKE CITY TRAFFIC CONTROL MANUAL - PART 6 OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR SALT LAKE COUNTY AND STATE ROADS. SLC TRANSPORTATION MUST APPROVE ALL PROJECT HAUL ROUTES (535-7129). THE CONTRACTOR MUST ALSO CONFORM TO UDOT, SALT LAKE COUNTY OR OTHER APPLICABLE GOVERNING ENTITIES REQUIREMENTS FOR TRAFFIC CONTROL.

## 7. SURVEY CONTROL

CONTRACTOR MUST PROVDE A REGISTERED LAND D. UTILITY RELOCATIONS -REGISTERED LAND SURVEYOR TO SET STAKES FOR ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS APPROVED. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE GRADE OF THE MAIN AND/OR FACILITY AS APPROVED. IN ADDITION, THE CONTRACTOR AND/OR SURVEYOR SHALL PROVIDE TO SALT LAKE CITY PUBLIC UTILITIES CUT SHEETS FILLED OUT COMPLETELY AND CLEARLY SHOWING THE PERTINENT GRADES, ELEVATIONS AND CUT/FILLS ASSOCIATED WITH THE FIELD STAKING OF THE MAIN AND/OR FACILITY. THE CUT SHEET FORM IS AVAILABLE AT THE CONTRACTS AND AGREEMENTS OFFICE AT PUBLIC UTILITIES. ALL MAINS AND LATERALS

NOT MEETING MINIMUM GRADE REQUIREMENTS AS SPECIFIED BY ORDINANCE OR AS REQUIRED TO MEET THE MINIMUM REQUIRED FLOWS OR AS APPROVED MUST BE REMOVED AND RECONSTRUCTED TO MEET DESIGN GRADE. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS UNTIL PUBLIC UTILITY SURVEYORS COMPLETE FINAL MEASUREMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE. DEPENDING ON THE LOCATION OF THE PROJECT; CONTACT THE COUNTY SURVEYOR FOR SECTION CORNER MONUMENTS (801-468-2028) AND/OR THE SALT LAKE CITY SURVEYOR (801-535-7973) FOR SALT LAKE CITY MONUMENTS AND CONSTRUCTION REQUIREMENTS. ALL ELEVATIONS SHALL BE REFERENCED TO SALT LAKE CITY DATUM UNLESS NOTED OTHERWISE ON THE PLANS.

THE CONTRACTOR SHALL REMOVE, DISPOSE OF, FURNISH AND PLACE PERMANENT ASPHALT PER SALT LAKE CITY ENGINEERING, UDOT, COUNTY, OR OTHER GOVERNMENT STANDARDS AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY.

IF THE CONTRACTOR CHOOSES TO WORK WITHIN THE PUBLIC WAY WHEN HOT MIX ASPHALT IS NOT AVAILABLE. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE APPROPRIATE GOVERNING ENTITY PRIOR TO INSTALLING TEMPORARY ASPHALT SURFACING MATERIAL. WITHIN SALT LAKE CITY, WHEN PERMANENT ASPHALT BECOMES AVAILABLE, THE CONTRACTOR SHALL REMOVE THE TEMPORARY ASPHALT, FURNISH AND INSTALL THE PERMANENT ASPHALT. THE CONTRACTOR SHALL GUARANTEE THE ASPHALT RESTORATION FOR A PERIOD AS REQUIRED BY THE GOVERNING ENTITY FROM THE DATE OF COMPLETION.

THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA, STATE, COUNTY AND OTHER GOVERNING ENTITY REQUIREMENTS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS.

## 11. DUST CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO THE GOVERNING ENTITY STANDARDS. USE OF HYDRANT WATER OR PUMPING FROM CITY-OWNED CANALS OR STORM DRAINAGE FACILITIES IS NOT ALLOWED FOR DUST CONTROL ACTIVITIES WITHOUT WRITTEN APPROVAL OF THE PUBLIC UTILITIES DIRECTOR.

## **12. DEWATERING**

ALL ON-SITE DEWATERING ACTIVITIES MUST BE APPROVED IN WRITING BY PUBLIC UTILITIES. PROPOSED OUTFALL LOCATIONS AND ESTIMATED FLOW VOLUME CALCULATIONS MUST BE SUBMITTED TO PUBLIC UTILITIES FOR REVIEW AND APPROVAL. ADEQUATE MEASURES MUST BE TAKEN TO REMOVE ALL SEDIMENT PRIOR TO DISCHARGE. PUBLIC UTILITIES MAY REQUIRE ADDITIONAL MEASURES FOR SEDIMENT CONTROL AND REMOVAL

THE CONTRACTOR IS REQUIRED TO KEEP ALL WILL BE NO LESS THAN AS SPECIFIED FOR THE AIR TEST CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS MUST BE PERFORMED IN THE PRESENCE OF A SLC THE CONTRACTORS RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.

## (UPDES) STORM WATER PERMIT FOR CONSTRUCTION 14. WATER, FIRE, SANITARY SEWER AND STORM DRAINAGE UTILITIES

A. INSPECTIONS -IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ANY WATER, SEWER, BACKFLOW AND DRAINAGE INSPECTION 48-HOURS IN ADVANCE TO WHEN INSPECTIONS.

## B. DAMAGE TO EXISTING UTILITIES -

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE, TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.

## C. UTILITY LOCATIONS -

CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING AND AVOIDING ALL UTILITIES AND SERVICE LATERALS, AND FOR REPAIRING ALL DAMAGE THAT OCCURS TO THE UTILTIES DUE TO THE CONTRACTOR'S ACTIVITIES. CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, THE FIELD BY POTHOLING A MINIMUM OF 300-FEET AHEAD OF SCHEDULED CONSTRUCTION IN ORDER TO IDENTIFY POTENTIAL CONFLICTS AND PROBLEMS WITH FUTURE CONSTRUCTION ACTIVITIES. EXISTING UTILITY INFORMATION OBTAINED FROM SLC PUBLIC UTILITIES' MAPS MUST BE ASSUMED AS APPROXIMATE AND REQUIRING FIELD VERIFICATION. CONTACT BLUE STAKES OR APPROPRIATE OWNER FOR COMMUNICATION LINE LOCATIONS.

SURVEYOR OR PERSONS UNDER SUPERVISION OF A FOR UTILITY CONFLICTS REQUIRING MAINLINE RELOCATIONS, THE CONTRACTOR MUST NOTIFY THE APPLICABLE UTILITY COMPANY OR USER A MINIMUM OF 2-WEEKS IN ADVANCE. A ONE-WEEK MINIMUM NOTIFICATION IS REQUIRED FOR CONFLICTS REQUIRING APPROVED ON PLANS. THE RELOCATION OF SERVICE LATERALS. ALL APPLICABLE UTILITY COMPANY AND/OR USER.

## E. FIELD CHANGES -

NO ROADWAY, UTILITY ALIGNMENT OR GRADE CHANGES ARE ALLOWED FROM THE APPROVED CONSTRUCTION PLANS/DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE SLC PUBLIC UTILITIES DIRECTOR. CHANGES TO HYDRANT LOCATIONS AND/OR FIRE LINES MUST BE SYSTEMS.

REVIEWED AND APPROVED BY THE SALT LAKE CITY OR SALT LAKE COUNTY FIRE DEPARTMENT (AS APPLICABLE TO THE PROJECT) AND PUBLIC UTILITIES.

## F. PUBLIC NOTICE TO PROJECTS IN THE PUBLIC WAY

FOR APPROVED PROJECTS THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND DISTRIBUTE WRITTEN NOTICE TO ALL RESIDENTS LOCATED WITHIN THE PROJECT AREA AT LEAST 72-HOURS PRIOR TO CONSTRUCTION. WORK TO BE CONDUCTED WITHIN COMMERCIAL OR INDUSTRIAL AREAS MAY REQUIRE A LONGER NOTIFICATION PERIOD AND ADDITIONAL CONTRACTOR COORDINATION WITH PROPERTY OWNERS. THE WRITTEN NOTICE IS TO BE APPROVED BY THE SLC PUBLIC UTILITIES PROJECT ENGINEER.

PUBLIC NOTICE FOR WATER MAIN SHUT DOWNS -G. THROUGH THE SLC PUBLIC UTILITIES INSPECTOR AND WITH THE PUBLIC UTILITIES PROJECT ENGINEER APPROVAL, SLC PUBLIC UTILITIES MUST BE CONTACTED AND APPROVE ALL WATER MAIN SHUTDOWNS. ONCE APPROVED THE CONTRACTOR MUST NOTIFY ALL EFFECTED USERS BY WRITTEN NOTICE A MINIMUM OF 48-HOURS (RESIDENTIAL) AND 72-HOURS (COMMERCIAL/INDUSTRIAL) PRIOR TO THE WATER MAIN SHUT DOWN. PUBLIC UTILITIES MAY REQUIRE LONGER NOTICE PERIODS.

WATER AND SEWER SEPARATION IN ACCORDANCE WITH UTAH'S DEPARTMENT OF HEALTH REGULATIONS, A MINIMUM TEN-FOOT HORIZONTAL AND 1.5-FOOT VERTICAL (WITH WATER ON TOP) SEPARATION IS REQUIRED. IF THESE CONDITIONS CANNOT BE MET, STATE AND SLC PUBLIC UTILITIES APPROVAL IS REQUIRED. ADDITIONAL CONSTRUCTION MEASURES WILL BE REQUIRED FOR THESE CONDITIONS.

## I. SALVAGE

ALL METERS MUST BE RETURNED TO PUBLIC UTILITIES, AND AT PUBLIC UTILITIES REQUEST ALL SALVAGED PIPE AND/OR FITTINGS MUST BE RETURNED TO SLC PUBLIC UTILTIES (483-6727) LOCATED AT 1530 SOUTH WEST TEMPLE.

## SEWER MAIN AND LATERAL CONSTRUCTION

REQUIREMENTS ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH BEEN SATISFACTORY COMPLETED. LANDING OF THE STAIRS WHEN IT S SLC PUBLIC UTILITIES MUST APPROVE ALL SEWER THE MOST CURRENT SALT LAKE CITY STANDARDS AND 7. FIRE SUPPRESSION, DETECTION AND SITE UTILITY DRAWINGS FOR FIRE PROTECTION, ARE DEFERRED ALL CLASS I, III AND COMBINATION CONNECTIONS. ALL SEWER LATERALS 6-INCHES AND N.E.C. (NATIONAL ELCTRICAL CODE. A STREET LIGHTING SUBMITTALS. THESE DRAWINGS ARE NOT APPROVED AS PART OF THIS SUBMITTED PACKAGE RESIDUAL AT THE MOST REMOTE SMALLER MUST WYE INTO THE MAINS PER SLC PUBLIC PLAN SHOWING WIRING LOCATION, WIRING TYPE, 8. WHEN THE INTERSTITIAL SPACES SUCH AS A PLENUMS (WHETHER SUPPLY OR RETURN) ARE USED FOR ADDITIONAL FLOW OF 250 G.P.M UTILITIES REQUIREMENTS. ALL 8-INCH AND LARGER VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE ENVIRONMENTAL AIR THEY SHALL BE NON-COMBUSTIBLE CONSTRUCTION OR HAVE A FLAME SPREAD FIRE ALARM SYSTEM SHALL BE INS SEWER CONNECTIONS MUST BE PETITIONED FOR AT AND LOCATION SHALL BE SUBMITTED TO SALT LAKE RATING OF 0-25 AND SMOKE INDEX OF 0-50 WHEN TESTED IN ACCORDANCE TO ASTM E-84. OCCUPANT NOTIFICATION. PUBLIC UTILTIES (483-6762) AND CONNECTED AT A CITY AND BE APPROVED PRIOR TO CONSTRUCTION. NO 9. FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL ALL AUDIBLE ALARM NOTIFICATIO MANHOLE. INSIDE DROPS IN MANHOLES ARE NOT DEVIATION OF STREETLIGHT, PULL BOXES, CONDUITS, BE COMPATIBLE WITH EACH OTHER. AND LABELED UL464. ALLOWED. A MINIMUM 4-FOOT BURY DEPTH IS AND ETC. LOCATIONS SHALL BE PERMITTED WITHOUT 10. FIRE STOPPING MATERIALS INSTALLED ARE REQUIRED TO HAVE LABELS ON BOTH SIDES OF THE AUDIBLE ALARM NOTIFICATION A REQUIRED ON ALL SEWER MAINS AND LATERALS. PRIOR WRITTEN APPROVAL FROM THE STREEGHT PROTECTED PENETRATION. 15 DECIBELS (DBA) ABOVE THE AV CONTRACTOR SHALL INSTALL INVERT COVERS IN ALL LIGHTING PROGRAM MANGER OR HIS/HER 11. FLOOR CARPET SHALL BE TESTED IN ACCORDANCE TO NATIONAL FIRE PROTECTION ASSOCIATION LEVEL HAVING A DURATION OF SEWER MANHOLES WITHIN THE PROJECT AREA. REPRESENTATIVE. STANDARD 253 AND BE A CLASS I (0.45 WATTS/CM2) IN CORRIDORS, EXIT ENCLOSURES AND EXIT SPACE WITHIN THE BUILDING.

CONTRACTOR TO PROVIDE AIR PRESSURE TESTING OF STREETLIGHT POLES SHALL NOT BE INSTALLED WITHIN 5 ASSOCIATION STANDARD 80 INDICATES THAT CARPET WHICH PASSES UNDER A FIRE RATED DOOR SHALL BE AT THE MINIMUM HEARING DIST SEWER MAINS IN ACCORDANCE WITH PIPE FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE A MINIMUM CLASS II, AS REQUIRED IN INTERNATIONAL FIRE CODE SECTION 804.3. NOISE IS GREATER THAN 95 DB MANUFACTURERS RECOMMENDATIONS AND SALT LAKE SUCH THAT IT DOES NOT HINDER THE OPERATION OF 12. CEILING TILE SHALL BE LISTED AND TESTED AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 84 AND ACCORDANCE WITH NFPA 72 AN CITY PUBLIC UTILITIES REQUIREMENTS. ALL PVC SEWER THE FIRE HYDRANT AND WATER LINE OPERATION HAVE A FLAME SPREAD OF 0-25 AND A SMOKE INDEX OF 0-450. IF THE CEILING TILE IS A COMPONENT PART FIRE ALARM SYSTEM HORN AND MAIN AND LATERAL TESTING SHALL BE IN ACCORDANCE VALVES. OF A PLENUM SYSTEM THEN IT SHALL BE LISTED AND TESTED AMERICAN SOCIETY OF TESTING MATERIALS INSTALLED AND THE AREA HAS T WITH UNI-BELL UN-B-6-98 RECOMMENDED PRACTICE (ASTM) E 84 AND HAVE A FLAME SPREAD OF 0-25 AND A SMOKE INDEX OF 0-50. 907.5.2.1.1 & VISIBLE REQUIREMEN FOR LOW PRESSURE AIR TESTING OF INSTALLED SEWER STREETLIGHTS AND STREETLIGHT POLES SHALL NOT BE 13. PROVIDE AN ADDRESS ON THE BUILDING WHICH IS ASSIGNED BY THE CITY ENGINEERING DEPARTMENT. POWER PANELS, WHICH SUPPLY P PIPE. CONTRACTOR SHALL PROVIDE SEWER LATERAL INSTALLED WITHIN 5 FEET FROM ANY TREE, UNLESS IF THE SPACE IS SUBDIVIDED THEN THE UNIT NUMBER OR LETTER SHALL BE PLACED ON OR NEAR THE BY RED LABELS STATING "FIRE ALA WATER TESTING AS REQUIRED BY THE SALT LAKE CITY WRITTEN APPROVAL IS RECEIVED FROM THE STREET ENTRANCE OF THE UNIT. THESE NUMBERS AND LETTERS SHALL BE VISIBLE FROM THE STREET AND BE A CODE ARTICLE 760.41B. PUBLIC UTILITIES PROJECT ENGINEER OR INSPECTOR. LIGHTING PROGRAM MANAGER. BRANCHES MAY NEED FIRE ALARM SYSTEMS SHALL BE WI MINIMUM 6 INCHES HIGH AND A STROKE OF 1/2 INCH. THE NUMBERS AND LETTERS SHALL BE ARABIC. THIS A MINIMUM OF 9-FEET OF HEAD PRESSURE IS REQUIRED TO BE PRUNED AS DETERMINED BY THI INSPECTOR IN ADDRESS SHALL BE CONTRASTING COLOR OF THE BACKGROUND. HORN AND STROBE SHALL NOT BE AS MEASURED VERTICALLY FROM THE HIGH POINT OF THE FIELD AT THE TIME OF INSTALLATION. 14. PLEASE NOTE THAT THE PROPOSED BUILDING PLANS DO NOT MEET THE REQUIREMENTS OF FIRE ALARMS IN GROUP R-2 OC THE PIPELINE AND AT OTHER LOCATIONS ALONG THE INTERNATIONAL FIRE CODE SECTION 503.1.1 WHICH STATES THAT THE FIRE DEPARTMENT ACCESS SHALL ROOMS AND SPACE TO THE EXIT PIPELINE AS DETERMINED BY THE SLC PUBLIC UTILITIES STREETLIGHTS SHALL NOT BE INSTALLED WITHIN 5 FEET EXTEND WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF EXTERIOR PROJECT ENGINEER OR INSPECTOR. TESTING TIME FROM THE EDGE OF ANY DRIVEWAY THE FIRST STORY. PROVIDE CARBON MONOXIDE 15. COMMERCIAL BUILDINGS OR FACILITIES EXCEEDING 30 FEET (9144 MM) OR THREE STORIES IN HEIGHT PROTECTION ASSOCIATION (NFPA ANTI-SEIZE LUBRICANT SHALL BE USED ON ALL COVER DURATION IN TABLE I ON PAGE 12 OF UNI-B-6-98. ALL SHALL HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS FOR EACH STRUCTURE. AS REQUIRED IN IFC ELEVATOR LOBBY SHALL HAVE TW PIPES SUBJECT TO WATER TESTING SHALL BE FULLY BOLTS AND GROUND BOX BOLTS. SECTION D104.1 LANDING ON EACH ACCESSIBLE VISIBLE TO THE INSPECTOR DURING TESTING. TESTING 16. COMMERCIAL BUILDINGS OR FACILITIES WHICH REQUIRE TWO MEANS OF FIRE APPARATUS ONE OF THE EXIT DISCHARGE. ALL EXISTING STREET LIGHTING SHALL REMAIN REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED WITHIN A MINIMUM OF 15 FEET PROVIDE AN APPROVED BARRII PUBLIC UTILITIES REPRESENTATIVE. ALL VISIBLE OPERATIONAL DURING CONSTRUCTION UNLESS (4572 MM) AND A MAXIMUM OF 30 FEET (9144 MM) FROM THE BUILDING, AND SHALL BE POSITIONED UNINTENTIONALLY CONTINUING IN LEAKAGE MUST BE REPAIRED TO THE SATISFACTION OF APPROVED IN WRITING BY THE STREET LIGHTIN PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. AS REQUIRED IN IFC SECTION D105.3. **PROVIDE STAIRWAY IDENTIFICATIC** THE SLC PUBLIC UTILITIES ENGINEER OR INSPECTOR. PROGRAM MANAGER. 17. THIS STRUCTURE REQUIRES A MINIMUM OF 6,000 G.P.M. AT 20 PSI. A MINIMUM OF 6 FIRE HYDRANTS BUILDINGS FOUR OR MORE STORI

#### WATER AND FIRE MAIN AND SERVICE CONSTRUCTION REQUIREMENTS -

VALVE AT THE BASE OF THE FIRE HYDRANT. SLC PUBLIC UTILITIES MUST APPROVE ALL FIRE AND WHILE THEY ARE DOWN. THE POLES SHALL BE STORED 19. FIRE HYDRANTS SHALL BE INSTALLED WITHIN 15 FEET OF A FIRE DEPARTMENT ACCESS ROADWAY WATER SERVICE CONNECTIONS. A MINIMUM 3-FOOT IN A SECURE LOCATION AND RAIED OFF THE GROUND. MEASURED AT THE TOP FRONT OF CURB. SEPARATION IS REQUIRED BETWEEN ALL WATER AND PICTURES SHALL BE TAKEN BEFORE THE POLES ARE 20. NEW FIRE HYDRANTS SHALL BE COLOR-CODED AND BE DIRECTED BY PUBLIC UTILITIES AS TO THE COLOR FIRE SERVICE TAPS INTO THE MAIN. ALL CONNECTIONS REMOVED TO DOCUMENT THE CONDITION OF THE AND SHADE OF THE HYDRANT BONNET. MUST BE MADE MEETING SLC PUBLIC UTILITIES POLES BEFORE THEY WERE REMOVED. PICTURES 21. FIRE HYDRANTS SHALL BE EQUIPPED WITH AN INDEPENDENT LATERAL CONTROL VALVE PLACED AT THE NEEDED. CONTACT 483-6727 TO SCHEDULE REQUIREMENTS. A 5-FOOT MINIMUM BURY DEPTH (FINAL SHALL BE SENT TO THE CITY. CONTRACTOR SHALL BASE INLET OF THE FIRE HYDRANT. GRADE TO TOP OF PIPE) IS REQUIRED ON ALL ENSURE THE POLES ARE IN SIMILAR CONDITION WHEN 22. A 3 FOOT CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE EQUIPMENT TO INCLUDE BUT WATER/FIRE LINES UNLESS OTHERWISE APPROVED BY RESTORED TO THEIR ORIGINAL LCOATIONS NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS AND FIRE SUPPRESSION CONTROL VALVES. PUBLIC UTILITIES. WATER LINE THRUST BLOCK AND 23. FIRE DEPARTMENT ACCESS ROAD WITH A DEAD END THAT IS 150 FEET IN LENGTH OR GREATER IT SHALL IF THE APPROVED PLANS REQUIRE PERMANENT RESTRAINTS ARE AS PER SLC APPROVED DETAIL BE PROVIDED WITH A FIRE DEPARTMENT TURN-AROUND. IT SHALL ALSO BE PROVIDE WITH A SIGN DRAWINGS AND SPECIFICATIONS. ALL EXPOSED NUTS REMOVAL OF STREETLIGHT POLES THE CONTRACTOR INDICATING THAT IT IS A DEAD END. AND BOLTS WILL BE COATED WITH CHEVRON FM1 SHALL COORDINATE SALVAGE AND/OR DISPOSAL OF 24. FIRE DEPARTMENT ACCESS ROADS FOR STRUCTURES 30 FOOT AND ABOVE THAT HAVE OVERHEAD GREASE PLUS MINIMUM 8 MIL THICKNESS PLASTIC. POLES, FIXTURES, AND LIGHTS WITH THE STREET OBSTRUCTIONS OF UTILITY LINES SHALL BE REMOVED BETWEEN THE STRUCTURE AND OVER THE ACCESS PROVIDE STAINLESS STEEL NUTS, BOLTS AND WASHERS LIGHTING PROGRAM MANAGER. ROADS AS REQUIRED IN IFC SECTION D105.4.

FOR HIGH GROUNDWATER/ SATURATED CONDITIONS AT WHEN THE FIRE DEPARTMENT ACCESS ROAD IS CONSTRUCTED AT THE MINIMUM WIDTH THE ACCESS ROAD ANY STRUCTURE SUCH AS BLOCK WALLS, CHAIN LINK FLANGE FITTINGS, ETC. Shall be provide with signs on both sides located at the entrance of the access road no FENCES, RETAINING WALLS, ETC. SHALL LEAVE A PARKING FIRE LANE. SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES (305 MM) WIDE BY 18 ALL WATERLINES INSTALLATIONS AND TESTING TO BE IN MINIMUM OF EIGHTEEN (18) INCHES TO THE FACE OF INCHES (457 MM) HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. THE SIGN SHALL BE ACCORDANCE WITH AWWA SECTIONS C600, C601, C651, THE STREETLIGHT POLE ON ALL SIDES. MARKED WITH PERMANENT NO PARKING—FIRE LANE SIGNS COMPLYING WITH FIGURE D103.6. PLEASE NOTE C206, C200, C900, C303 AWWA MANUAL M11 AND ALL THE SIGNS ABOVE ARE REQUIRED WHEN THE ROAD WIDTH IS LESS THAN 28 FEET. OTHER APPLICABLE AWWA, UPWS, ASTM AND ANSI ALL SERVICE POINTS SHALL BE COORDINATED WITH THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED SPECIFICATIONS RELEVANT TO THE INSTALLATION AND ROCKY MOUNTAIN POWER AND WHENEVER POSSIBLE STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION. ALTERNATIVELY, THE BE LOCATED NEAR THE CENTER OF THE CIRCUIT COMPLETION OF THE PROJECT. AMENDMENT TO FIRE-RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE SECTION C600 SECTION 4.1.1; DOCUMENT TO READ SERVICE POINTS SHALL BE SHOWN ON THE PLANS WITH ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIR ENCLOSURE. MINIMUM TEST PRESSURE SHALL NOT BE LESS THAN 200 A SCHEMATIC FROM ROCKY MOUNTAIN POWER. POLE IN BUILDINGS FOUR OR MORE STORIES ABOVE GRADE PLANE, ONE STAIRWAY SHALL EXTEND TO THE ROOF P.S.I. GAUGED TO A HIGH POINT OF THE PIPELINE BEING LOCATIONS AS SHOWN ON THE APPROVED PLANS MAY SURFACE, UNLESS THE ROOF HAS A SLOPE STEEPER THAN FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL TESTED. ALL MATERIALS USED FOR WATERWORKS BE ADJUSTED IN THE FIELD BY THE STRET LIGHTING (33-PERCENT SLOPE). MATERIAL AND OUTSIDE DIAMETERS OF UTILITIES IN PROJECTS TO BE RATED FOR 150 P.S.I. MINIMUM PROGRAM MANAGER A THE TIME OF INSTALLATION AT A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP OPERATING PRESSURE. NO ADDITIONAL COST TO THE CITY.

> BOTTOM OF THE INTERIOR EXIT STAIRWAY AND RAMP AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE CONTRACTOR IS TO INSTALL WATER SERVICE LINES, IT SHALL BE REQUIRED THAT IN THE ABSENCE OF AN SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE METER YOKES AND/OR ASSEMBLIES AND METER BOXS EXISTING WORKABLE CIRCUIT TO ATTACH TO, THAT ALL AVAILABILITY OF ROOF ACCESS FROM THE INTERIOR EXIT STAIRWAY AND RAMP FOR THE FIRE DEPARTMENT. WITH LIDS LOCATED AS APPROVED ON THE PLANS PER INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR THE SIGN SHALL BE LOCATED 5 FEET (1524 MM) ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY APPLICABLE PUBLIC UTILITIES DETAIL DRAWINGS. OPERATION OF THE CIRCUITS. IN THIS CASE THE VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITIONS. IN ADDITION TO THE STAIRWAY METER BOXES ARE TO BE PLACED IN THE PARK STRIPS DEVELOPER AND OR HIS ENGINEER SHALL CONTACT IDENTIFICATION SIGN, A FLOOR-LEVEL SIGN IN RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC PERPENDICULAR TO THE WATERMAIN SERVICE TAP ROCCKY MOUNTAIN POWER FOR INSTALLATION OF NEW A117.1 SHALL BE LOCATED AT EACH FLOOR-LEVEL LANDING ADJACENT TO THE DOOR LEADING FROM THE CONNECTION. ALL WATER METERS, CATCH BASINS, SERVICE. INTERIOR EXIT STAIRWAY AND RAMP INTO THE CORRIDOR TO IDENTIFY THE FLOOR LEVEL CLEANOUT BOXES, MANHOLES, DOUBLE CHECK VALVE AN INTERIOR EXIT STAIRWAY AND RAMP SHALL NOT CONTINUE BELOW ITS LEVEL OF EXIT DISCHARGE UNLESS WHENVER THERE IS AN OVERHEAD UTILITY THAT MAY DETECTOR ASSEMBLIES, REDUCED PRESSURE AN APPROVED BARRIER IS PROVIDED AT THE LEVEL OF EXIT DISCHARGE TO PREVENT PERSONS FROM DETECTOR ASSEMBLIES AND BACKFLOW PREVENTION CONFLICT WITH THE INSTALLATION FO THE UNINTENTIONALLY CONTINUING INTO LEVELS BELOW. DIRECTIONAL EXIT SIGNS SHALL BE PROVIDED AS DEVICES MUST BE LOCATED OUTSIDE OF ALL STREETLIGHT CIRCUITS AND/OR STREETLIGHT POLES, SPECIFIED IN SECTION 1011. APPROACHES, DRIVEWAYS, PEDESTRIAN WALKWAYS THOSE CONFLICTS MUST BE RESOLVED BETWEEN THE PROVIDE A MINIMUM 2A:10 BC RATED FIRE EXTINGUISHERS WITH IN 75-FOOT TRAVEL DISTANCE TO ALL DEVELOPER AND THE UTILITIES INVOLVED BEFORE THE SPACES IN THE STRUCTURE. STREETLIGHT BASES ARE CONSTRUCTED AT NO PROVIDE A MINIMUM 6A:60 BC RATED EXTINGUISHERS WITHIN 50-FOOT TRAVEL DISTANCE OF THE GARAGE. EXPENSE TO THE CITY OR ROCKY MOUNTAIN POWER. FIRE DEPARTMENT CONNECTION SHALL BE LOCATED ON THE ADDRESS SIDE OF THE BUILDING IT SERVES. THE RESOLUTION MUST BE APPROVED BY THE CITY AND FIRE DEPARTMENT CONNECTIONS SHALL BE WITHIN 100 FEET OF A FIRE HYDRANT ROCKY MOUNTAIN POWER. FIRE DEPARTMENT CONNECTION (INLET HOSE CONNECTION) SHALL BE COMPRISED OF ONE OR MORE 21/2

AND OTHER TRAVELED WAYS UNLESS OTHERWISE RELOCATIONS ARE SUBJECT TO APPROVAL FROM THE BACKFLOW PREVENTORS ARE REQUIRED ON ALL IRRIGATION AND FIRE SPRINKLING TAPS PER PUBLIC UTILITIES AND SLC FIRE DEPARTMENT REQUIREMENTS. CONTRACTORS SHALL INSTALL BACKFLOW PREVENTION PROJECT UTILITY NOTES: INCH NATIONAL STANDARD THREADED SWIVEL COUPLING. THE NUMBER OF 2 ½ INCH INLETS ARE BASED ON THE FIRE FLOW REQUIRED OF THE WATER BASED SUPPRESSION SYSTEMS. EACH INLET SHALL SERVE 250 DEVICES ON FIRE SPRINKLER CONNECTIONS. DOUBLE GPM OF THE SYSTEM REQUIREMENT. CHECK VALVE ASSEMBLIES SHALL BE INSTALLED ON ALL NEW AND/OR REPLACED UTILITY INSTALLATIONS SHALL CLASS 1. 2 AND 3 SYSTEMS. REDUCED PRESSURE MEET SALT LAKE CITY PUBLIC WORKS STANDARDS AND PRINCIPLE VALVES SHALL BE INSTALLED ON CLASS 4 SPECIFICATIONS. ALL FIRE SPRINKLING BACKFLOW

ASSEMBLIES SHALL CONFORM TO ASSE STANDARD 1048, 2. CALL BLUE STAKES (532-5000) 48 HOURS PRIOR TO 1013, 1047 AND 1015. THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM BACKFLOW PREVENTION TESTS PER SALT LAKE CITY STANDARDS AND SUBMIT RESULTS TO PUBLIC UTILITIES. ALL TESTS MUST BE PERFORMED AND SUBMITTED TO PUBLIC UTILITIES WITHIN 10 DAYS OF INSTALLATION OR WATER TURN-ON. BACKFLOW TEST FORMS ARE AVAILABLE AT PUBLIC UTILITIES' CONTRACTS AND AGREEMENTS OFFICE.

GENERAL WATER, SEWER AND STORM DRAIN "APWA" NOTES

**REQUIREMENTS -**ALL WATER, FIRE AND SEWER SERVICES STUBBED TO A PROPERTY MUST BE USED OR WATER AND FIRE SERVICES MUST BE KILLED AT THE MAIN AND SEWER LATERALS CAPPED AT THE SEWER MAIN PER PUBLIC UTILITIES REQUIREMENTS. ALLOWABLE SERVICES TO BE KEPT WILL BE AS DETERMINED BY THE PUBLIC UTILITIES PROJECT ENGINEER. ALL WATER AND FIRE SERVICE KILLS AND SEWER LATERAL CAPS ARE TO BE KILLED AND CAPPED AS DETERMINED AND VISUALLY VERIFIED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

ALL MANHOLES. HYDRANTS. VALVES. CLEAN-OUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER PUBLIC UTILITIES STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS AND VALVES PER PUBLIC UTILITIES STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED AS REQUIRED BY THE PUBLIC UTILITIES INSPECTOR. ALL MANHOLE, CLEANOUT BOX OR CATCH BASIN DISCONNECTIONS MUST BE REPAIRED AND GROUTED AS REQUIRED BY THE ON-SITE PUBLIC UTILITIES INSPECTOR.

CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION. UTILITY TRENCHING, BACKFILL, AND PIPE ZONE AS PER SLC PUBLIC UTILITIES, **"UTILITY INSTALLATION DETAIL."** 

## M. STREETLIGHTS

IF APPROVED PLANS REQUIRE REMOVAL OF STREETLIGHT POLES DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLES

STARTING CONSTRUCTION FOR LOCATIONS OF UNDERGROUND UTILITIES. POTHOLE EXISTING UTILITIES PRIOR TO STARTING WORK TO VERIFY LOCATION AND DEPTH. PROTECT ALL EXISTING UTILITIES AND REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION. VERIFY NEW UTILITY ALIGNMENT AND GRADE WITH EXISTING UTILITIES AND CONTACT THE ENGINEER IF CONFLICTS EXIST.

APWA REFERS TO THE "MANUAL OF STANDARD PLANS" 2017 ED., BY THE AMERICAN PUBLIC WORKS ASSOCIATION. CONTRACTOR SHALL OBTAIN A COPY OF THESE DETAILS PRIOR TO BIDDING FOR USE IN CONSTRUCTING THE PROJECT. COORDINATE ALL UTILITY INTERRUPTIONS WITH UTILITY COMPANY AND EFFECTED PROPERTY OWNERS.

## FIRE DEPARTMENT GENERAL NOTES

1. CONSTRUCTION SHALL NOT COMMENCE UNTIL FIRE DEPARTMENT ACCESS ROADS ARE INSTALLED WITHIN 100 FEET OF ALL EXTERIOR WALLS OF THE FIRST FLOOR AND FIRE HYDRANTS ARE INSTALLED AND OPERATIONAL AND THE REQUIRED FIRE FLOW IS PROVIDED. AS REQUIRED IN INTERNATIONAL FIRE CODE (IFC) SECTION 3312.1

REQUIRED MEANS OF EGRESS AND FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED DURING CONSTRUCTION AND DEMOLITION, REMODELING OR ALTERATIONS AND ADDITIONS TO THE BUILDING. FIRE PREVENTION BUREAU STAFF SHALL APPROVE REVIEW OF ANY EXITING ALTERATIONS. AS REQUIRED IN IFC **SECTION 3311.2** 

3. CLASS I DRY STANDPIPE SHALL BE INSTALLED WHEN THE CONSTRUCTION OF A BUILDING REACHES 40 FEET IN HEIGHT. TWO OUTLETS WITH GLOBE VALVES AND A MINIMUM 21/2- INCH NATIONAL STANDARD MALE THREAD (NST) WITH A REDUCING CAP TO A 11/2-INCH NST SHALL BE INSTALLED ADJACENT TO A STAIRWAY AND BELOW ONE FLOOR HAVING SECURED DECK. THE MAXIMUM LENGTH OF TRAVEL TO ANY PART OF THE STRUCTURE SHALL NOT EXCEED 150 FEET FOR ANY ONE STANDPIPE. AS REQUIRED IN IFC SECTION 3313.1 4. AUTOMATIC FIRE SPRINKLER, FIRE SUPPRESSION AND FIRE ALARM SYSTEMS WHEN TAKEN OUT OF SERVICE ARE REQUIRED TO HAVE THE FIRE PREVENTION BUREAU NOTIFIED AT (801) 799-4150. THE DURATION OF TIME AND THE DATE MUST BE STATED TO INCLUDE THE DATE WHICH THE FIRE PROTECTION EQUIPMENT WILL BE PLACED IN SERVICE. AS REQUIRED IN IFC CHAPTER 33.

5. DEFERRED SUBMITTALS TO INCLUDE BUT NOT LIMITED TO; WATER MAINS (PRIVATE & PUBLIC), WATER LATERALS, FIRE HYDRANTS, AUTOMATIC FIRE SPRINKLER SYSTEMS, STANDPIPES, AUTOMATIC FIRE SUPPRESSION SYSTEM, UL 300 (CLASS I HOOD AND DUCT SUPPRESSION SYSTEMS), AUTOMATIC SMOKE DETECTION SYSTEMS, FIRE ALARM SYSTEMS, CLEAN GAS FIRE SUPPRESSION SYSTEMS, VESDA DETECTION SYSTEM, ETC. THE DEFERRED SUBMITTAL APPLICATION SHALL BE PROVIDED WHICH IS COMPLETED, WET STAMPED AND SIGNED BY THE ARCHITECT.

6. ALL FIRE PROTECTION AND DETECTION SYSTEMS SHALL HAVE THE PIPING AND WIRING EXPOSED FOR INSPECTION. THE PIPING AND WIRING MAYBE COVERED AFTER THE FIRE INSPECTION OF THE SYSTEMS HAS

PASSAGEWAYS AND CLASS II (0.22 WATTS/CM2) IN ALL ROOMS. PLEASE NOTE; NATIONAL FIRE PROTECTION

WITHIN 400 FEET OF THE STRUCTURE. 18. FIRE HYDRANTS SHALL BE PROVIDE WITH TWO 21/2 INCH OUTLETS AND ONE 41/2 INCH OUTLET THAT ARE MALE NATIONAL STANDARD THREADS, DRY BARREL TYPE WITH A SINGLE CONTROL VALVE AND DRAIN

CONNECTING MORE THAN THREE STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND

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QUICK-RESPONSE FIRE SPRINKLER HEADS. SINCE FIRE STOPPING IS REQUIRED WHEN THE PIPE PASSES THROUGH THE FIRE RATED WALL ASSEMBLY. TH PIPING PASSING THROUGH A FIRE RATED ASSEMBLY SHALL BE PROVIDED WITH FLEXIBLE COUPLINGS WITHIN FT. OF EACH SIDE OF THE WALL PROVIDE A SIGN ON DOOR OF THE RISER ROOM, "FIRE RISER ROOM". THIS SIGN SHALL HAVE LETTERING

PROVIDE A SIGN AT THE FIRE DEPARTMENT CONNECTION INDICATING THE PRESSURE AND FLOW THAT IS

FIRE RISER ROOMS FOR ALL WATER BASED FIRE SYSTEMS (SPRINKLER AND STANDPIPE) SHALL BE CONSTRUED

TO THE FIRE APPLIANCES (VALVES(CONTROL / CHECK) AND RISER TRIM) TO INCLUDE MULTIPLE RISERS

riser rooms shall be provided with a clear and unobstructed passageway to the riser room

OF NOT LESS THAN 36 INCHES AND THE OPENING INTO THE ROOM SHALL BE CLEAR AND UNOBSTRUCTED

WITH DOORS SWINGING IN THE OUTWARD DIRECTION FROM THE ROOM AND THE OPENING PROVIDING /

CLEAR WIDTH OF NOT LESS THAN 34 INCHES AND A CLEAR HEIGHT OF THE DOOR OPENING SHALL NOT BE

AUTOMATIC FIRE SPRINKLER SYSTEMS THAT ARE CLASSIFIED AS LIGHT HAZARD SHALL BE PROVIDED WITH

BY ONE OR MORE SUPPLY MAINS.

A MINIMUM OF 36 INCHES SHALL BE PROVIDED IN FRONT OF THE APPLIANCES LISTED ABOVE

REQUIRED TO PUMP THE STANDPIPE SYSTEM

A MINIMUM OF 12 INCHES THAT IS UNOBSTRUCTED FROM ALL WALLS

WITH THE FOLLOWING CLEARANCES:

(INTERIOR AND EXTERIOR),

WHICH ARE SUPPLIED

LESS THAN 80 INCHES.

MINIMUM 4 INCHES HIGH AND A STROKE OF 1/4 INCH. THE ARABIC LETTERS AND SHALL BE RED IN COLOR ON A WHITE REFLECTIVE BACKGROUND.

CLASS I, III AND COMBINATION STANDPIPES INSTALLED IN SPRINKLER BUILDINGS SHALL BE LOCATED T HAVE A MAXIMUM HOSE LENGTH OF 200 FEET IN A STRUCTURE. THE HOSE DISTANCE IS MEASURED LINEARLY

FOR HOSE DISTANCE. PLEASE VERIFY THE HOSE DISTANCES FOR THE FLOORS. STANDPIPE OUTLETS SHALL BE INSTALLED AT THE INTERMEDIATE FLOOR LEVEL LANDING BETWEEN FLOORS. I ADDITION, WHEN THE ROOF HAS A SLOPE LESS THAN 4-12 AT THE ROOF LEVEL AND AT THE HIGHEST

THE MAXIMUM SOUND PRESSURE

OR LESS PROVIDE A SUPRA BOX WHICH M INSTALL THE BOX ADJACENT TO TH

BEGINING OF VERTICAL CURVE CORRUGATED METAL PIPE PVMT END OF VERTICAL CURVE EXPIRATION OR EXPANSION S.L.C. FINISH GROUND AT GARAGE DOOI HIGH DENSITY POLY-ETHELYI U.N.O. LIMITED USE DRIVEWAY VERT

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ORIGINAL GROUND/GRADE OVERHEAD POINT OF CURVEVATURE REGISTERED PROFESSIONAL ENGINE POINT OF INTERSECTION PROPERTY LINE POWER POLE POINT OF REVERSE CURV PRESSURE REDUCING VALVE POUNDS PER SQUARE FOOT PRESSURE SEWER POUNDS PER SQUARE INCH POINT OF TANGENT PUBLIC UTILITY EASEMENT POLYVINYL CHLORIDE POINT OF VERTICAL INTERSECTION PAVEMENT PRIVATE REINFORCED CONCRETE PIP REFERENCE RIGHT-OF-WAY SOUTH SLOP SANITARY SEWER STORM DRAIN SALT LAKE COUN SALT LAKE CITY SIDEWALK SQUARE FEFT SHEET STATION STANDARD TOP BACK OF CURB TEMPORARY TOP OF FOUNDATION WA THROUGH TOP OF GRATE TOP OF PORCH TOP OF WALL TYPICAL VARIOUS UNLESS NOTED OTHERWISE VERTICAL WATER



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BOUNDARY - ROW – CENTERLINE LOT LINE - 15" STORM DRAIN - 8" SANITARY SEWER – 8" CULINARY WATER - 8" SECONDARY WATER CONTOUR MAJOR · CONTOUR MINOR - EXIST. STORM DRAIN – EXIST. SANITARY SEWER – EXIST. CULINARY WATER - EXIST. CONTOUR MINOR SIGN STREET LIGHT SD MH, INLET, AND COMBO SEWER MANHOLE CULINARY VALVE, TEE & BEND SECONDARY VALVE, TEE & BEND WATER BLOW-OFF FIRE HYDRANT STREET MONUMENT (TO BE SET) EXIST. STREET MONUMENT EXIST. SD INLET & MH EXIST. SEWER MH EXIST. VALVE, TEE, & BEND EXIST. FIRE HYDRANT SPOT ELEVATION

## GENERAL NOTES:

CONTRACTOR SHALL USE PRECAUTIONS AND SAFEGUARDS TO ENSURE THAT THE EXISTING SURROUNDING PROPERTIES ARE PROTECTED FROM DAMAGE DURING EXCAVATION & CONSTRUCTION

A PUBLIC RIGHT OF WAY PERMIT OBTAINED FROM THE SALT LAKE CITY ENGINEERING OFFICE (801.535.6396) IS REQUIRED FOR WORK ON CURB, GUTTER, PARK STRIP, ROADWAY, OR ANYWHERE IN PUBLIC WAY. OBSTRUCTION OF SIDEWALKS AND ROADWAYS ALSO REQUIRE A PERMIT. THIS IS A SEPARATE PERMIT FROM THOSE ISSUED BY OTHER MUNICIPAL ENTITIES SUCH AS BUILDING SERVICES, PUBLIC UTILITIES, ETC.

IT MUST BE OBTAINED BY A CONTRACTOR WHO has bond, insurance, and license on file WITH THE ENGINEERING OFFICE.



ALL OF THE EXISTING PAVEMENT, CONCRETE CURB, GUTTER, SIDEWALK, TREES & INFRASTRUCTURE WITHIN THE LIMITS OF THIS AREA IS SUBJECT TO DEMOLITION, REMOVAL AND/OR REPLACEMENT WITH THE PROPOSED INFRASTRUCTURE, PAVING AND NEW BUILDING EXCAVATION - UNLESS OTHERWISE SPECIFIED.



Know what's **below.** Call 811 before you dig.



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![](_page_3_Figure_2.jpeg)

BOUNDARY ROW — CENTERLINE — LOT LINE — 15" STORM DRAIN - 8" SANITARY SEWER — 8" CULINARY WATER - 8" SECONDARY WATER - CONTOUR MAJOR - CONTOUR MINOR – EXIST. STORM DRAIN - EXIST. CONTOUR MINOR SIGN STREET LIGHT SD MH, INLET, AND COMBO SEWER MANHOLE CULINARY VALVE, TEE & BEND SECONDARY VALVE, TEE & BEND WATER BLOW-OFF FIRE HYDRANT STREET MONUMENT (TO BE SET) EXIST. STREET MONUMENT EXIST. SD INLET & MH EXIST. SEWER MH EXIST. VALVE, TEE, & BEND EXIST. FIRE HYDRANT SPOT ELEVATION

![](_page_3_Figure_4.jpeg)

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GRAPHIC SCALE ( IN FEET ) 1 inch = 20 ft. SITE PLAN 1"=20' Drawn: KJ e: 11/08/2022 Job #: 22-0380 Know what's **below. Call 811** before you dig. C3

![](_page_4_Figure_0.jpeg)

![](_page_4_Figure_2.jpeg)

BOUNDARY - ROW – CENTERLINE LOT LINE - 15" STORM DRAIN - 8" SANITARY SEWER – 8" CULINARY WATER - 8" SECONDARY WATER - CONTOUR MAJOR · CONTOUR MINOR - EXIST. STORM DRAIN – EXIST. SANITARY SEWER – EXIST. CULINARY WATER - EXIST. CONTOUR MINOR SIGN STREET LIGHT SD MH, INLET, AND COMBO SEWER MANHOLE CULINARY VALVE, TEE & BEND SECONDARY VALVE, TEE & BEND WATER BLOW-OFF FIRE HYDRANT STREET MONUMENT (TO BE SET) EXIST. STREET MONUMENT EXIST. SD INLET & MH EXIST. SEWER MH EXIST. VALVE, TEE, & BEND EXIST. FIRE HYDRANT

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# NOTE:

ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS. WATER AND SEWER LINES REQUIRE 10 FEET MINIMUM HORIZONTAL SEPARATION AND 18" MINIMUM VERTICAL SEPARATION. SEWER MUST MAINTAIN 5 FEET MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES. WATER MUST MAINTAIN 3 FEET MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES.

GRAPHIC SCALE ( IN FEET) 1 inch = 20 ft. UTILITY PLAN 1"=20' Jrawn: KJ : 11/08/2022 Job #: 22-0380 Know what's **below. Call 811** before you dig.

![](_page_5_Figure_0.jpeg)

![](_page_5_Figure_3.jpeg)

BOUNDARY - ROW — CENTERLINE — LOT LINE — 15" STORM DRAIN - 8" SANITARY SEWER — 8" CULINARY WATER - 8" SECONDARY WATER - CONTOUR MAJOR - CONTOUR MINOR – EXIST. STORM DRAIN - EXIST. CONTOUR MINOR SIGN STREET LIGHT SD MH, INLET, AND COMBO SEWER MANHOLE CULINARY VALVE, TEE & BEND SECONDARY VALVE, TEE & BEND WATER BLOW-OFF FIRE HYDRANT STREET MONUMENT (TO BE SET) EXIST. STREET MONUMENT EXIST. SD INLET & MH EXIST. SEWER MH EXIST. VALVE, TEE, & BEND EXIST. FIRE HYDRANT SPOT ELEVATION

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![](_page_5_Picture_7.jpeg)

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GRADING PLAN & DRAINAGE 1"=20' KJ e: 11/08/2022 Job #: 22-0380 C5

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![](_page_6_Figure_0.jpeg)

INLET PROTECTION - GRAVEL BAGS

![](_page_6_Picture_3.jpeg)

STABILIZED CONSTRUCTION ENTRANCE

![](_page_6_Picture_5.jpeg)

![](_page_6_Picture_6.jpeg)

![](_page_6_Figure_7.jpeg)

![](_page_6_Figure_8.jpeg)

PORTABLE TOILET

![](_page_6_Picture_10.jpeg)

![](_page_7_Figure_0.jpeg)

![](_page_7_Figure_3.jpeg)

![](_page_8_Figure_0.jpeg)

![](_page_8_Picture_1.jpeg)

![](_page_9_Picture_0.jpeg)

![](_page_9_Picture_1.jpeg)

FIRST FLOOR PLAN WITH SITE OVERLAY

Platform 1500

![](_page_10_Figure_0.jpeg)

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<b>—</b> 0	Platform 1500	Platform 1500 LLC 1512 S 300 W	Salt Lake City, UT 84115		
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![](_page_14_Figure_0.jpeg)

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![](_page_14_Picture_2.jpeg)

161 W 600 S Salt Lake City, UT 84101 801.973.9000 Focus Engineering & Surveying, LLC 6949 High Tech Dr Suite 200 Midvale, Utah 84047 801.352.0075 **Royal Engineering** 1837 S E Bay Blvd. Provo, Utah 84606 801.375.2228 Realize Structural Engineering, Inc. 2880 W 4700 S A Salt Lake City, Utah 84129 801-930-9265 Bonneville Builders 8610 South Sandy Parkway Suite 210 Sandy, Utah 84070 801-263-1406 С 84115 500 \_\_\_\_© LLC UT Platform 1500 L 1512 S 300 W Salt Lake City, I Platform ----0 Design Development 12.06.2022 Revisions Date Description А FIFTH FLOOR PLAN Project No: 101.19 Client No: Drawn by: Author Sheet No:

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ELEV8 ARCHITECTURE

# ELEV8 Architecture

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15 Cobblestone Ct Orchard Park, NY 14127

161 W 600 S Salt Lake City, UT 84101 801.973.9000

Focus Engineering & Surveying, LLC 6949 High Tech Dr Suite 200 Midvale, Utah 84047 801.352.0075

**Royal Engineering** 1837 S E Bay Blvd.

Provo, Utah 84606 801.375.2228

Realize Structural Engineering, Inc. 2880 W 4700 S A

Salt Lake City, Utah 84129 801-930-9265

Bonneville Builders 8610 South Sandy Parkway Suite 210 Sandy, Utah 84070 801-263-1406

84115 500 Platform 1500 LLC 1512 S 300 W Salt Lake City, UT 8<sup>2</sup> Platform

**\_\_\_**0 Design Development

12.06.2022 Revisions Description

Date

BUILDING SECTIONS

Project No: 101.19 Client No: Drawn by: Author Sheet No:

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