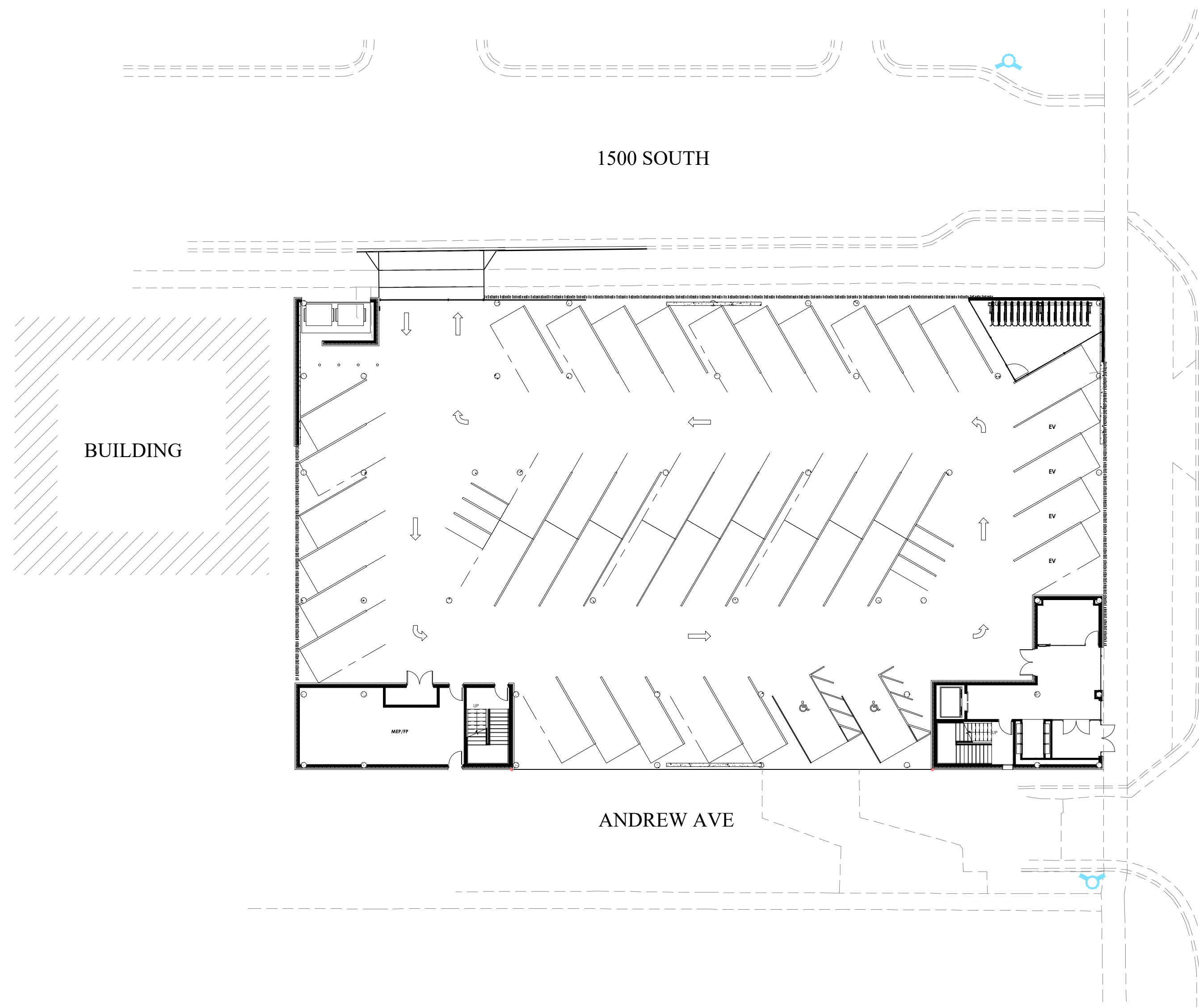


VICINITY MAP
NTS

1512 APARTMENTS

PREPARED FOR:
ELEV8 ARCHITECTURE
LOCATED IN:
1512 SOUTH 300 WEST SALT LAKE CITY, UT



SITE MAP

Sheet List Table	
Sheet Number	Sheet Title
C1	COVER SHEET
C2	GENERAL NOTES
C3.0	DEMO PLAN
C3	SITE PLAN
C4	UTILITY PLAN
C5	GRADING PLAN & DRAINAGE
C6	EROSION CONTROL PLAN
PP1.0	STORM DRAIN PROFILE PLAN
D1.0	DETAILS

BENCHMARK
2" RTB SALT LAKE COUNTY MONUMENT 1700S
TOWNSHIP 1 SOUTH RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4230.25
DATUM: NAVD88

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SALT LAKE CITY AND APWA STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

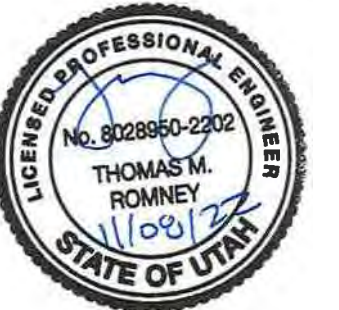
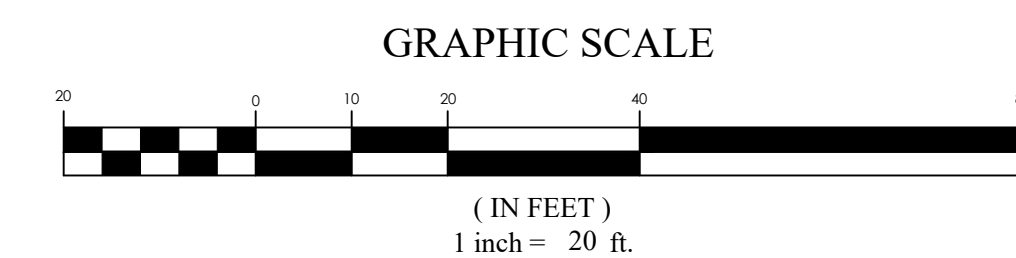
ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: PARK SORENSON
SURVEY MANAGER: TIM ATWOOD

OWNER/DEVELOPER
ELEV8 ARCHITECTURE
665 ROCKY MOUNTAIN LANE
DRAPER UT 84020
(888)-88ELEV8
CONTACT: MICHAEL CONROE



1512 APARTMENTS
1512 SOUTH 300 WEST SALT LAKE CITY, UT
COVER SHEET

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
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COVER SHEET

Scale: 1"=20'
Date: 11/08/2022
Sheet: C1

C1



1512 APARTMENTS
 1512 SOUTH 300 WEST SALT LAKE CITY, UT
DEMO PLAN

LEGEND

—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
—	EASEMENT
—	15" STORM DRAIN
—	8" SANITARY SEWER
—	8" CULINARY WATER
—	8" SECONDARY WATER
—	CONTOUR MAJOR
—	CONTOUR MINOR
—	EXIST. STORM DRAIN
—	EXIST. SANITARY SEWER
—	EXIST. CULINARY WATER
—	EXIST. FENCE
—	EXIST. CONTOUR MAJOR
—	EXIST. CONTOUR MINOR
—	SIGN
—	STREET LIGHT
—	SD MH, INLET, AND COMBO
—	SEWER MANHOLE
—	CULINARY VALVE, TEE, & BEND
—	SECONDARY VALVE, TEE, & BEND
—	WATER BLOW-OFF
—	FIRE HYDRANT
—	STREET MONUMENT (TO BE SET)
—	EXIST. STREET MONUMENT
—	EXIST. SD INLET & MH
—	EXIST. SEWER MH
—	EXIST. VALVE, TEE, & BEND
—	EXIST. FIRE HYDRANT
—	SPOT ELEVATION

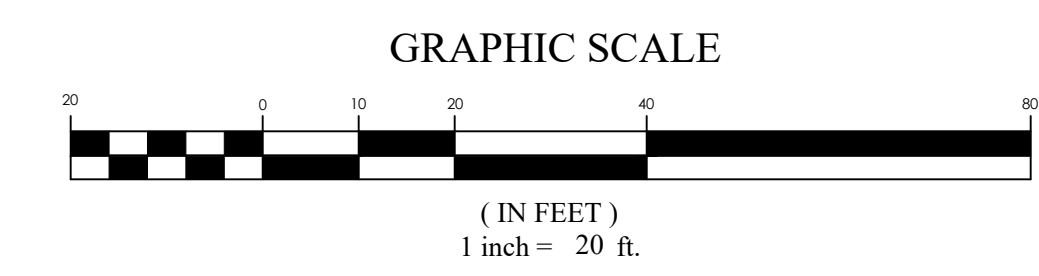
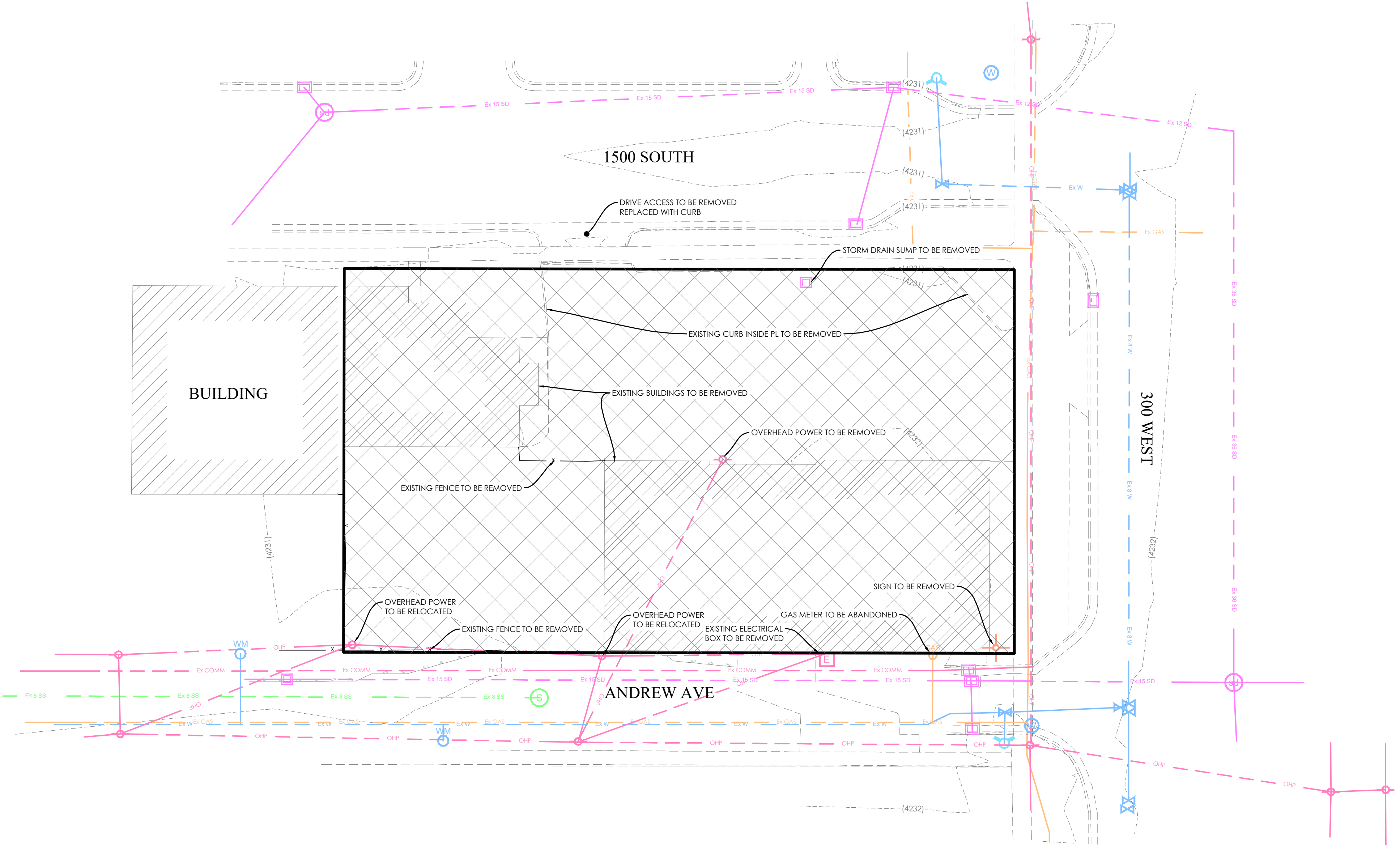
GENERAL NOTES:

CONTRACTOR SHALL USE PRECAUTIONS AND SAFEGUARDS TO ENSURE THAT THE EXISTING SURROUNDING PROPERTIES ARE PROTECTED FROM DAMAGE DURING EXCAVATION & CONSTRUCTION

A PUBLIC RIGHT OF WAY PERMIT OBTAINED FROM THE SALT LAKE CITY ENGINEERING OFFICE (801.535.6396) IS REQUIRED FOR WORK ON CURB, GUTTER, PARK STRIP, ROADWAY, OR ANYWHERE IN PUBLIC WAY. OBSTRUCTION OF SIDEWALKS AND ROADWAYS ALSO REQUIRE A PERMIT. THIS IS A SEPARATE PERMIT FROM THOSE ISSUED BY OTHER MUNICIPAL ENTITIES SUCH AS BUILDING SERVICES, PUBLIC UTILITIES, ETC.

IT MUST BE OBTAINED BY A CONTRACTOR WHO HAS BOND, INSURANCE, AND LICENSE ON FILE WITH THE ENGINEERING OFFICE.

ALL OF THE EXISTING PAVEMENT, CONCRETE CURB, GUTTER, SIDEWALK, TREES & INFRASTRUCTURE WITHIN THE LIMITS OF THIS AREA IS SUBJECT TO DEMOLITION, REMOVAL AND/OR REPLACEMENT WITH THE PROPOSED INFRASTRUCTURE, PAVING AND NEW BUILDING EXCAVATION - UNLESS OTHERWISE SPECIFIED.



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DEMO PLAN

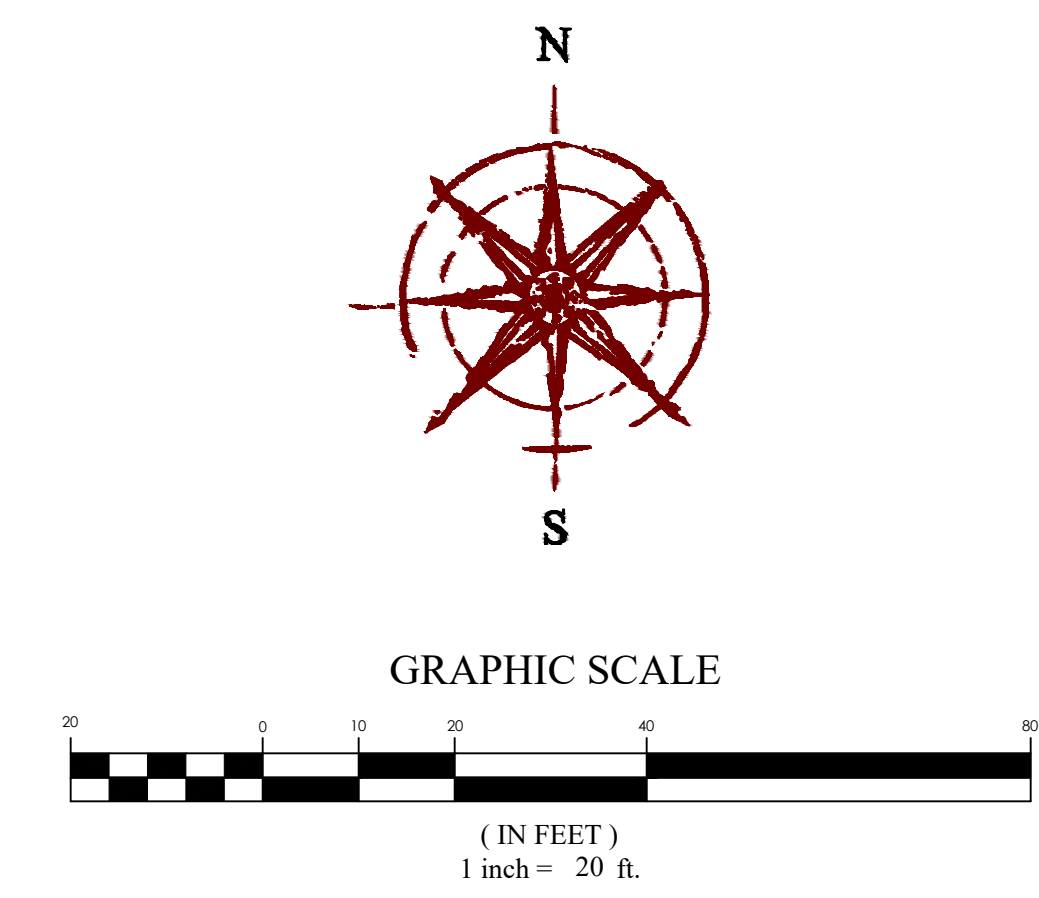
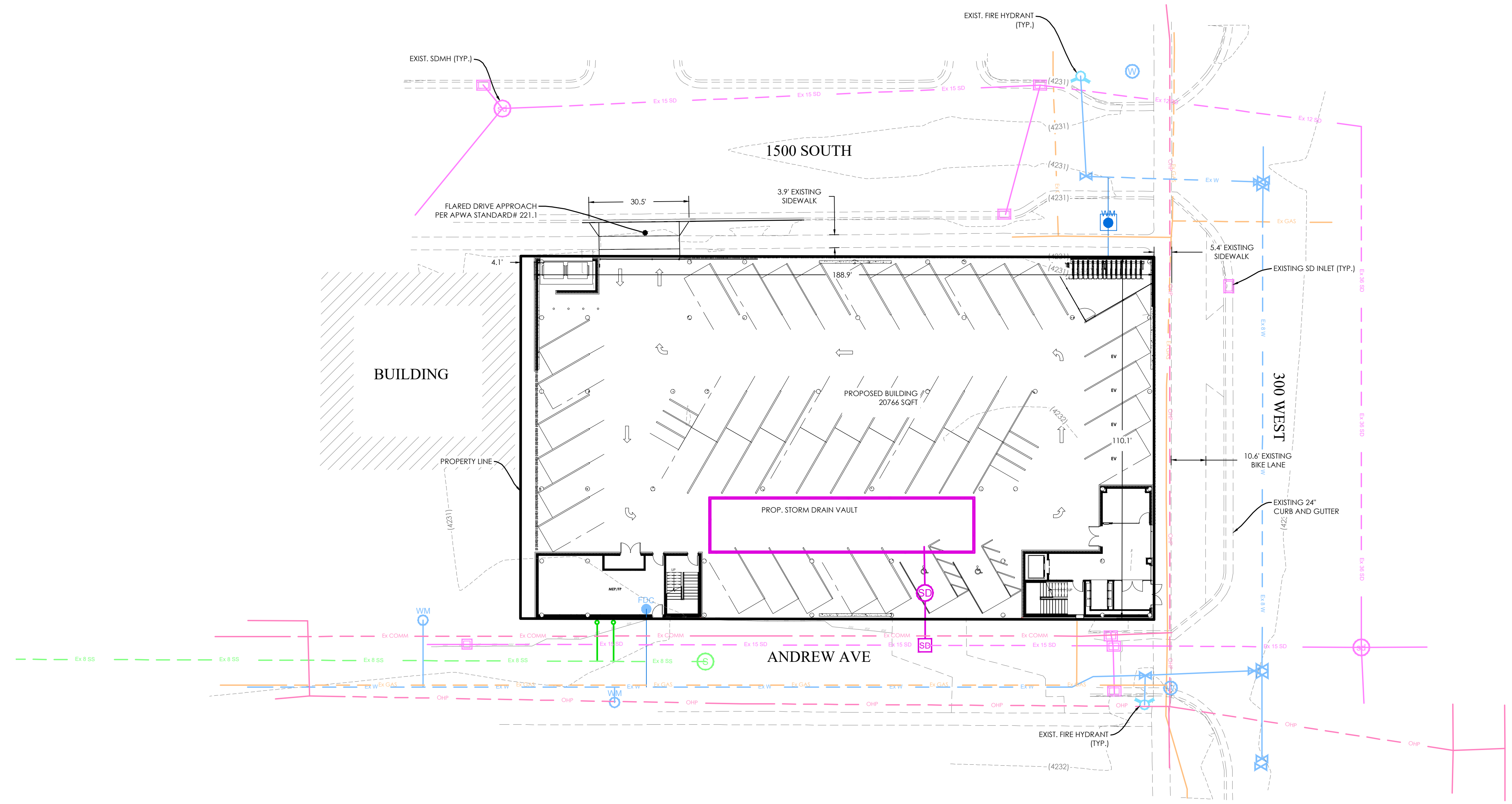
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Date: 11/08/2022	Job #: 22-0380
Sheet:	C3.0



1512 APARTMENTS
 1512 SOUTH 300 WEST SALT LAKE CITY, UT
SITE PLAN

LEGEND

—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
—	EASEMENT
—	15" STORM DRAIN
—	8" SANITARY SEWER
—	8" CULINARY WATER
—	8" SECONDARY WATER
—	CONTOUR MAJOR
—	CONTOUR MINOR
—	EXIST. STORM DRAIN
—	EXIST. SANITARY SEWER
—	EXIST. CULINARY WATER
—	EXIST. SECONDARY WATER
—	EXIST. FENCE
—	EXIST. CONTOUR MAJOR
—	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE, & BEND
+	SECONDARY VALVE, TEE, & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION



REVISION BLOCK	DATE	DESCRIPTION
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SITE PLAN	
Scale: 1" = 20'	Drawn: KJ
Date: 11/08/2022	Job #: 22-0380
Sheet:	C3

Z:\2022\220380\1512 South 300 West\Design\22-0380.dwg (Sheet) C3 SITE PLAN.dwg



1512 APARTMENTS
 1512 SOUTH 300 WEST SALT LAKE CITY, UT
UTILITY PLAN

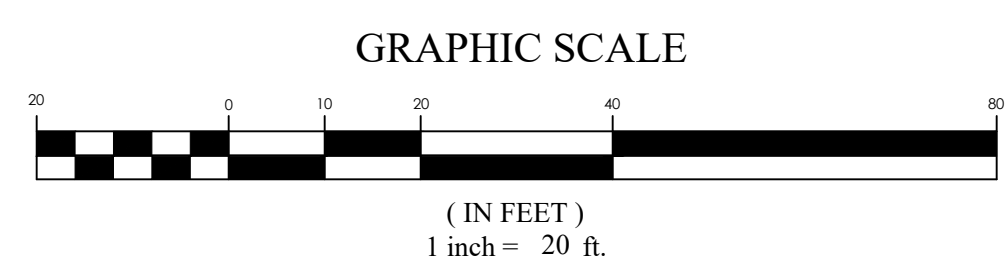
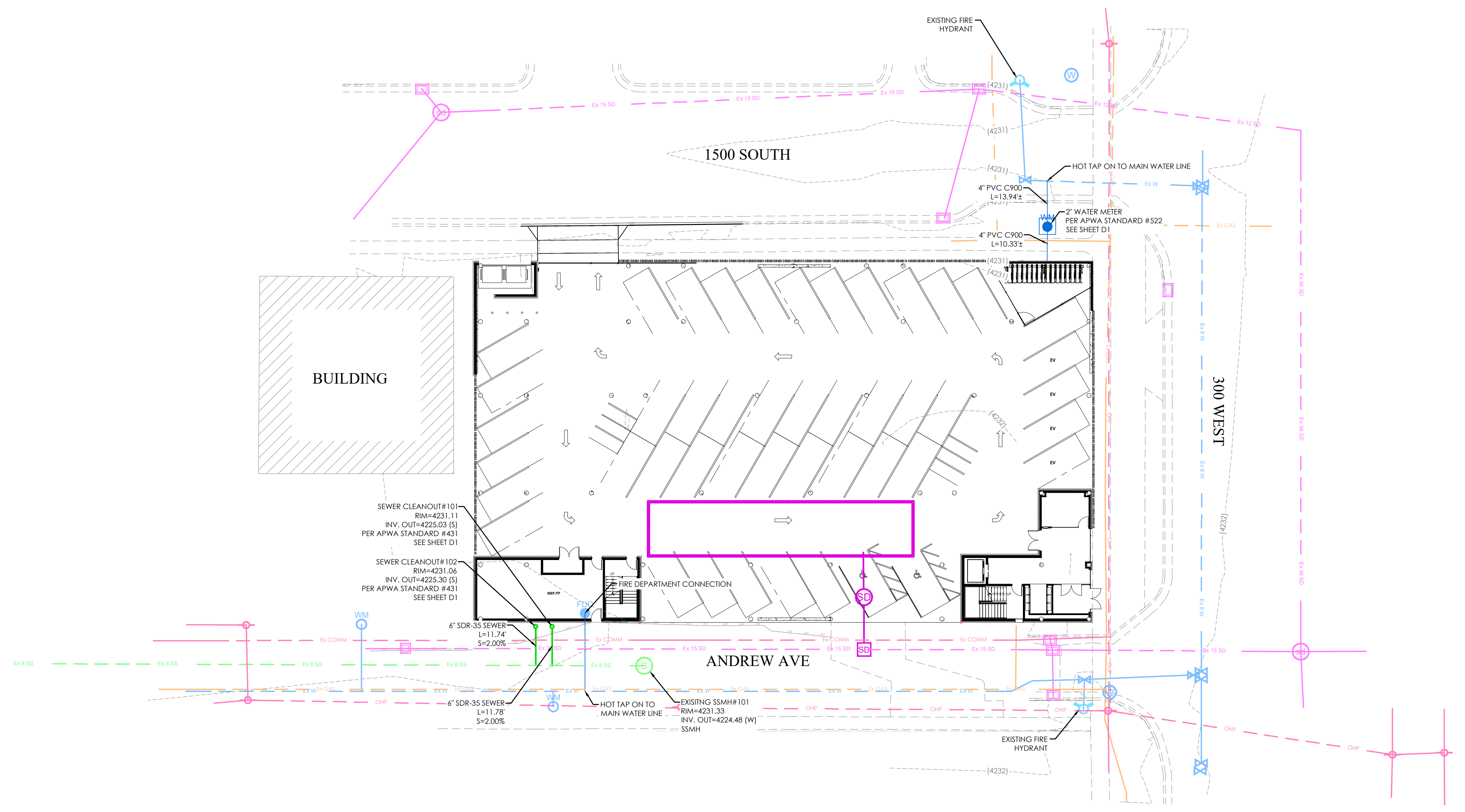
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UTILITY PLAN
 Scale: 1"=20'
 Date: 11/08/2022
 Drawn: KJ
 Job #: 22-0380
 Sheet: **C4**

LEGEND

[Symbol]	BOUNDARY
[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	15" STORM DRAIN
[Symbol]	8" SANITARY SEWER
[Symbol]	8" CULINARY WATER
[Symbol]	8" SECONDARY WATER
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	SIGN
[Symbol]	STREET LIGHT
[Symbol]	SD MH, INLET, AND COMBO
[Symbol]	SEWER MANHOLE
[Symbol]	CULINARY VALVE, TEE, & BEND
[Symbol]	SECONDARY VALVE, TEE, & BEND
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT (TO BE SET)
[Symbol]	EXIST. STREET MONUMENT
[Symbol]	EXIST. SD INLET & MH
[Symbol]	EXIST. SEWER MH
[Symbol]	EXIST. VALVE, TEE, & BEND
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	SPOT ELEVATION

NOTE:
 ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS. WATER AND SEWER LINES REQUIRE 10 FEET MINIMUM HORIZONTAL SEPARATION AND 18" MINIMUM VERTICAL SEPARATION. SEWER MUST MAINTAIN 5 FEET MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES. WATER MUST MAINTAIN 3 FEET MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES.



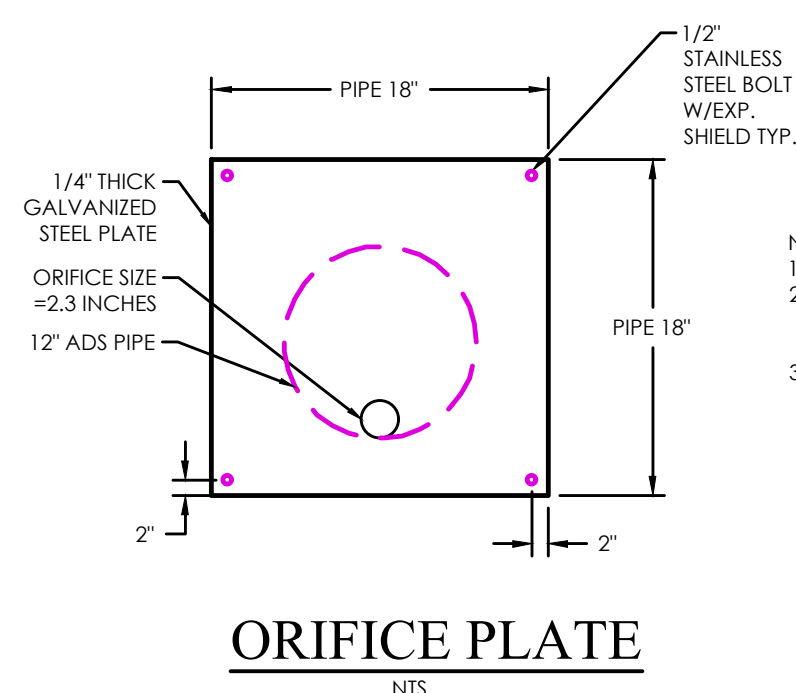
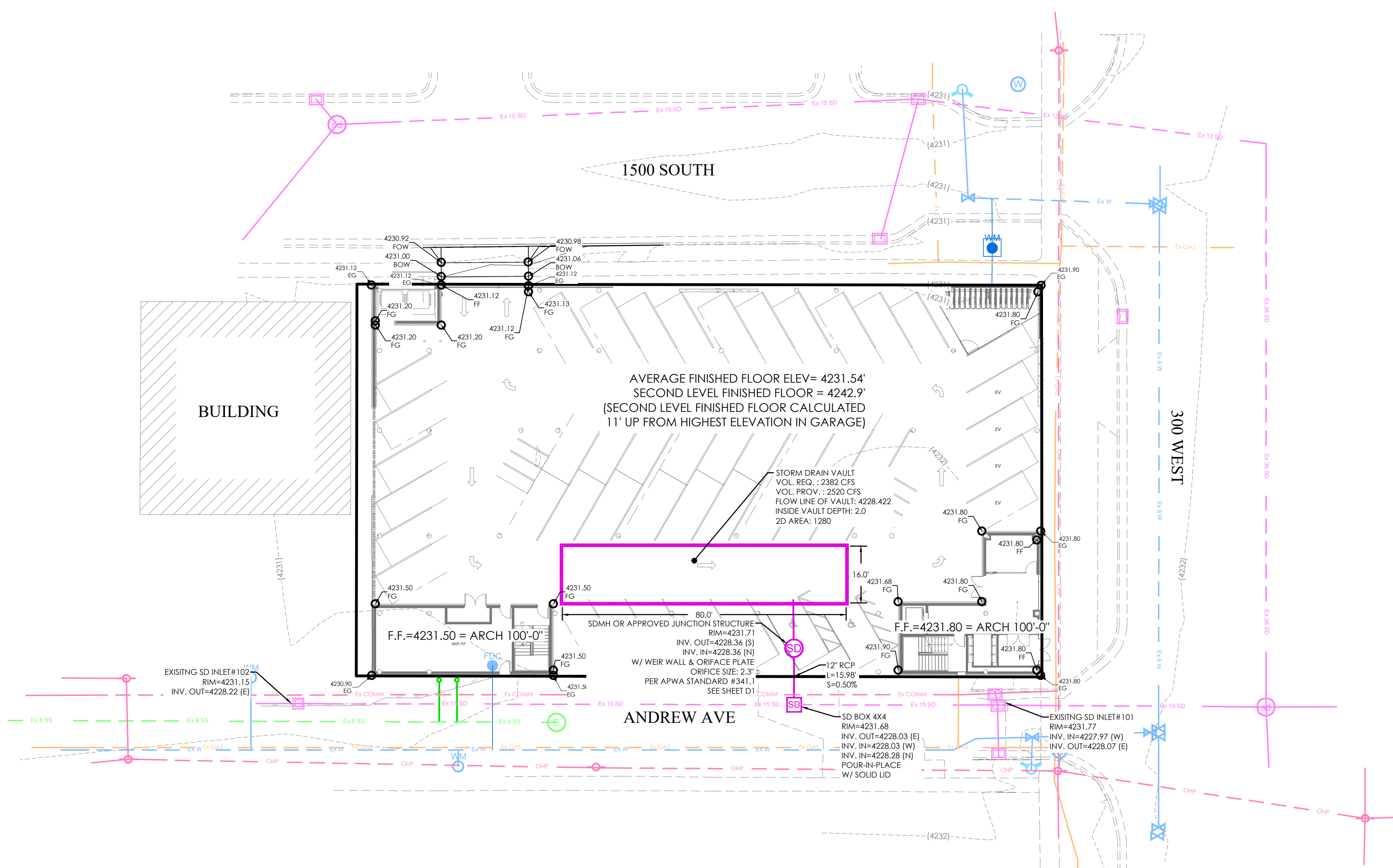
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1512 APARTMENTS
1512 SOUTH 300 WEST SALT LAKE CITY, UT
GRADING PLAN & DRAINAGE

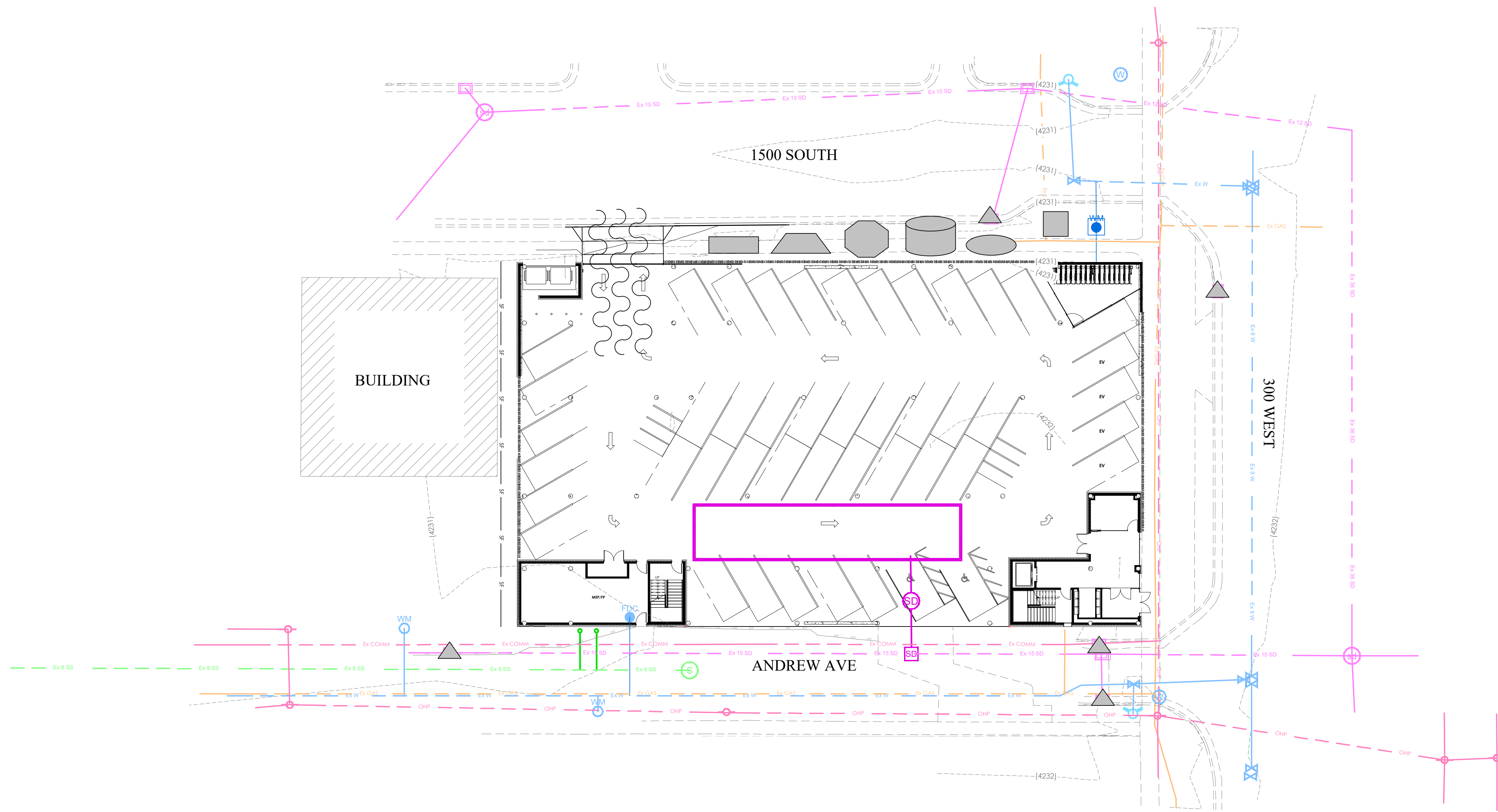
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--- (dashed)	BOUNDARY
--- (solid)	ROW
--- (dotted)	CENTERLINE
--- (dash-dot)	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

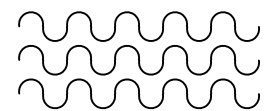
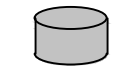
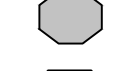

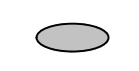
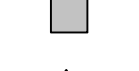
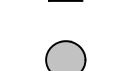


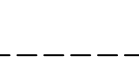





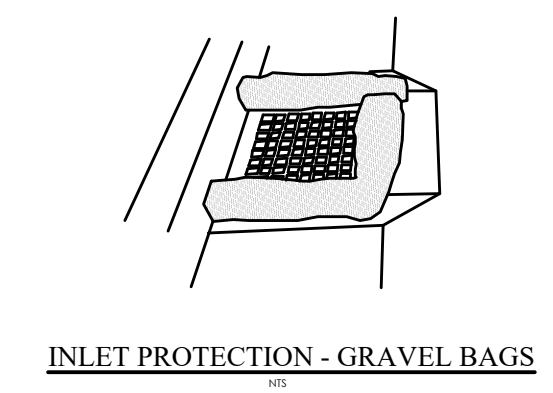
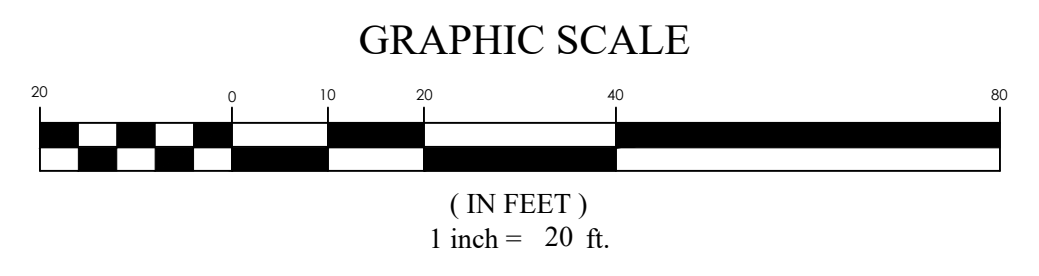
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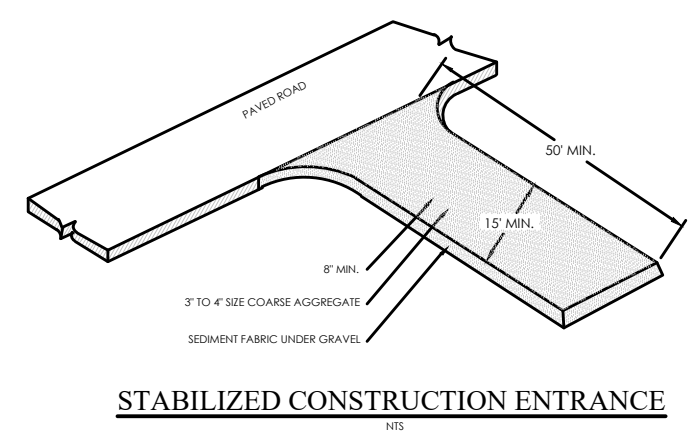


EROSION CONTROL LEGEND

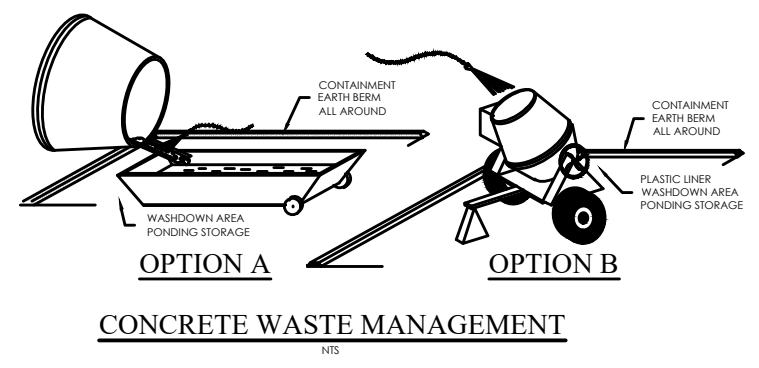
-  CONSTRUCTION ENTRANCE
-  MATERIALS STORAGE
-  FUEL TANKS
-  CONCRETE WASHOUT
-  TRASH BIN
-  PORTABLE TOILET
-  CONSTRUCTION TRAILER
-  INLET PROTECTION
-  SURFACE WATERS
-  OUTFALL
-  SILT FENCE OR BERM
-  CUTBACK CURB
-  FIBER ROLL



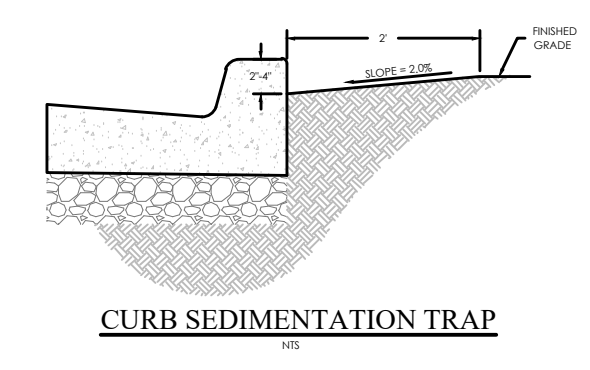
INLET PROTECTION - GRAVEL BAGS



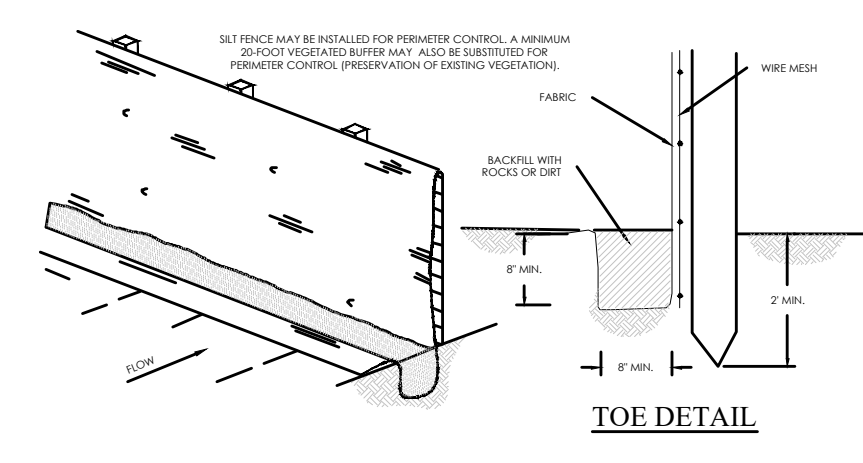
STABILIZED CONSTRUCTION ENTRANCE



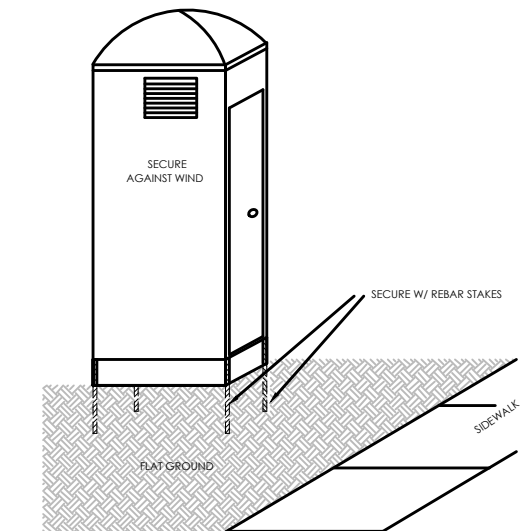
CONCRETE WASTE MANAGEMENT



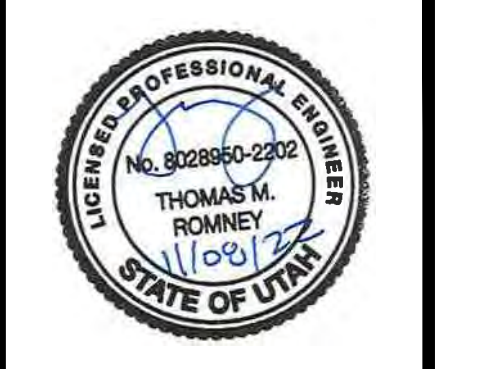
CURB SEDIMENTATION TRAP



SILT FENCE



PORTABLE TOILET



1512 APARTMENTS
 1512 SOUTH 300 WEST SALT LAKE CITY, UT
EROSION CONTROL PLAN

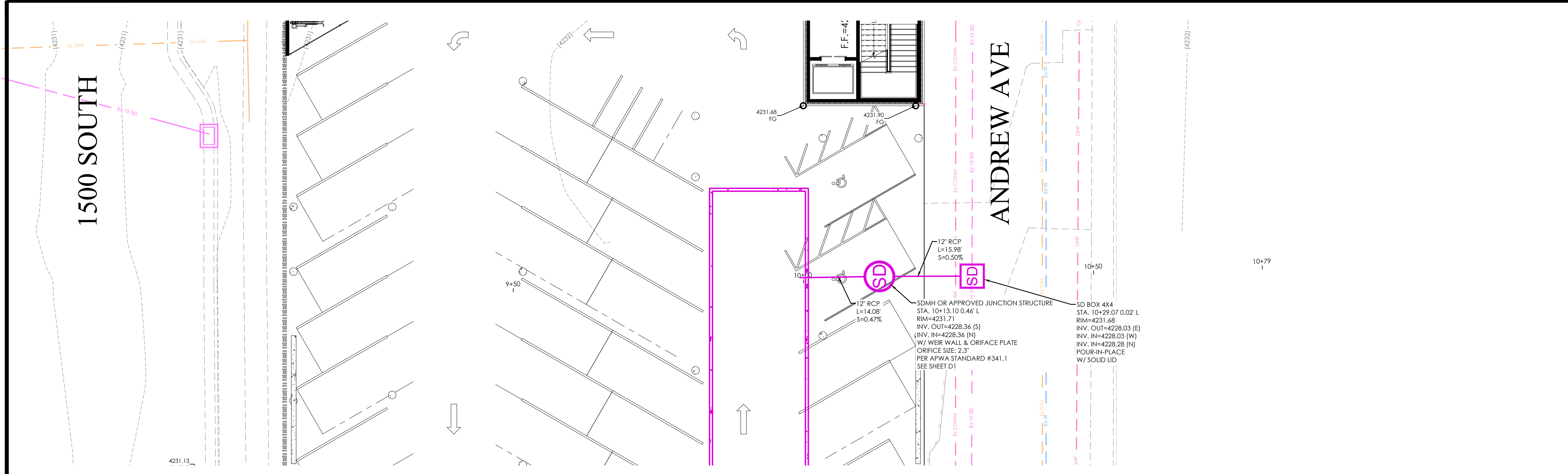
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EROSION CONTROL PLAN

Scale: 1"=20'
 Date: 11/08/2022
 Sheet: C6



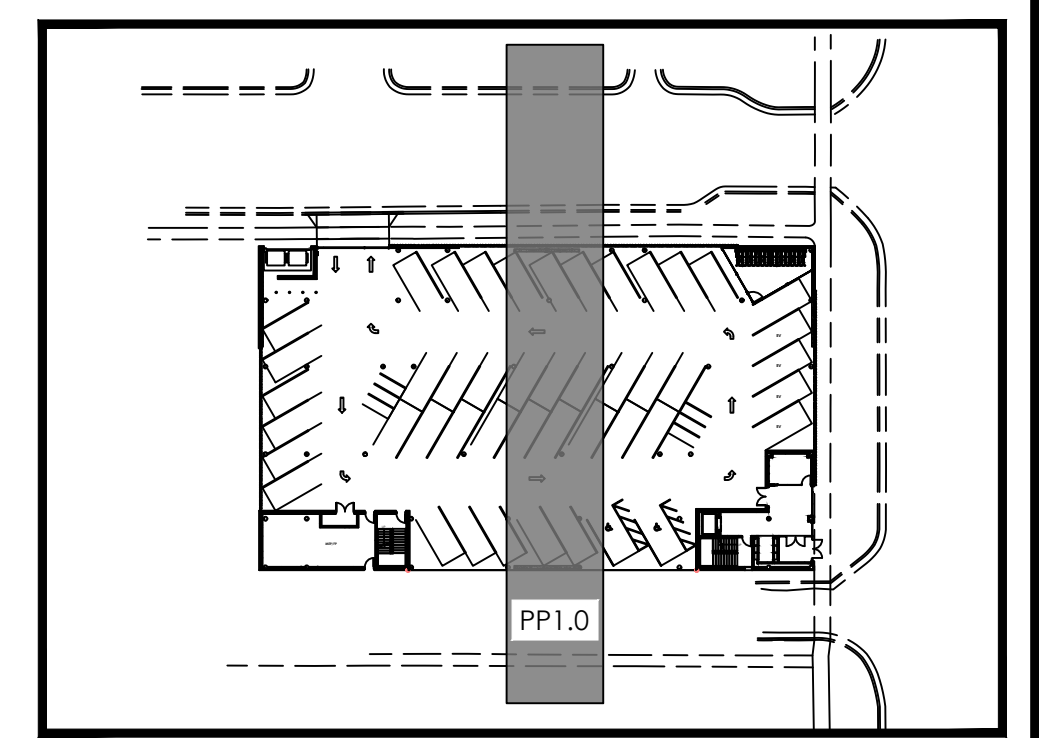
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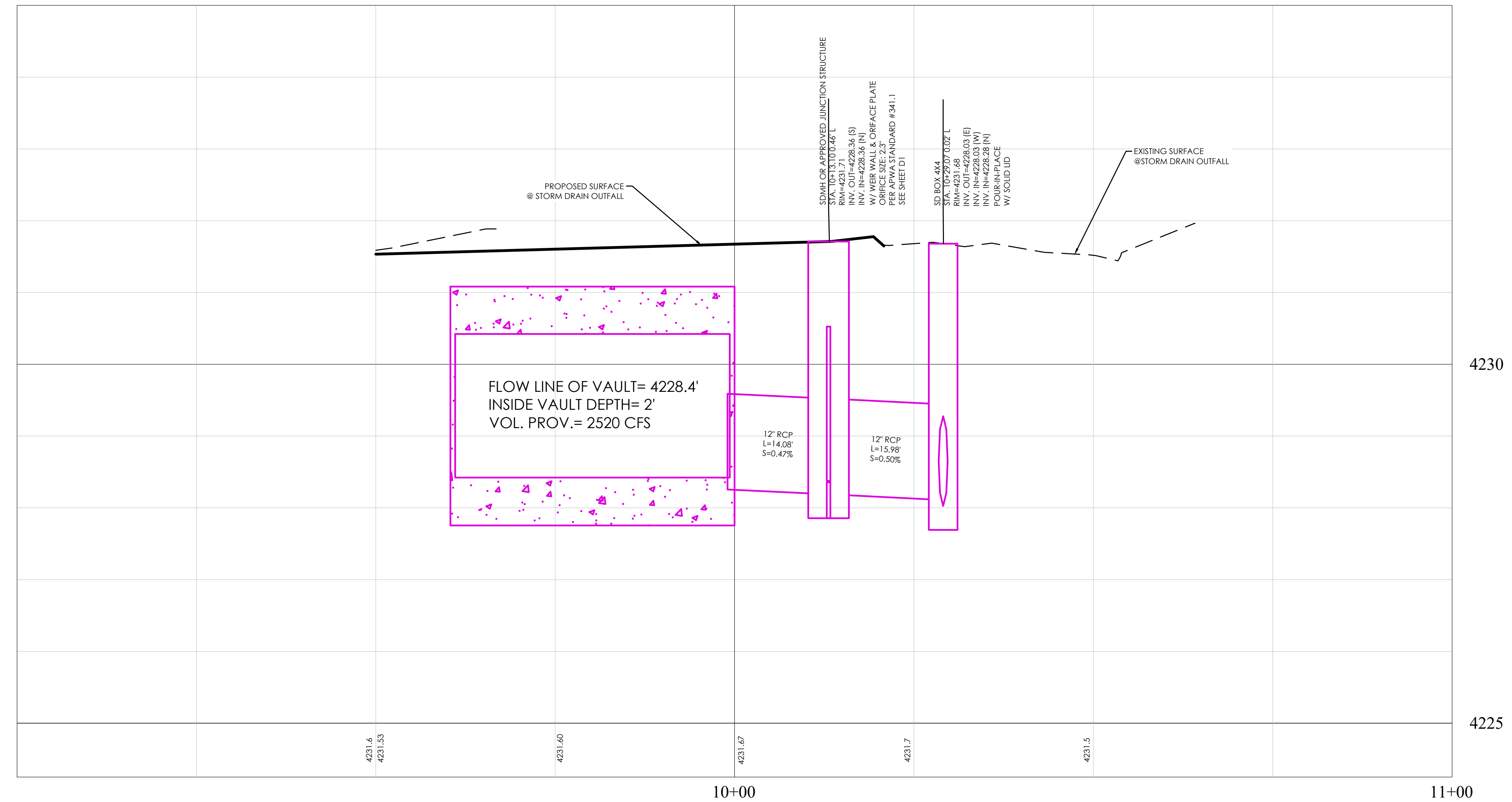
STORM DRAIN PROFILE PLAN

LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

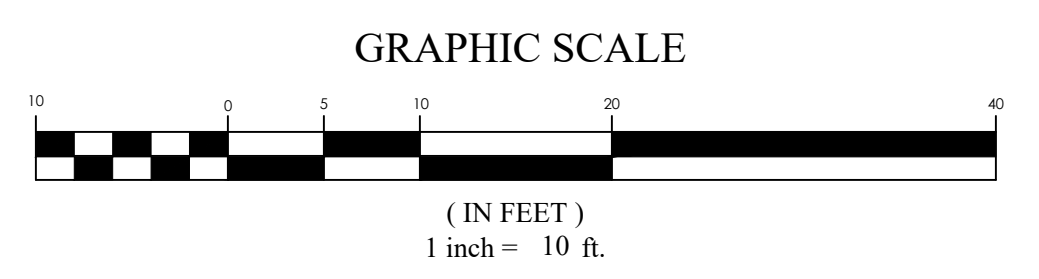


KEY MAP
N.T.S



STORM DRAIN OUTFALL PROFILE

BENCHMARK
2" RTB SALT LAKE COUNTY MONUMENT 1700S
TOWNSHIP 1 SOUTH RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV: 4230.25
DATUM: NAVD 88



FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE, SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusuh.com



1512 APARTMENTS
1512 SOUTH 300 WEST SALT LAKE CITY, UT
STORM DRAIN PROFILE PLAN

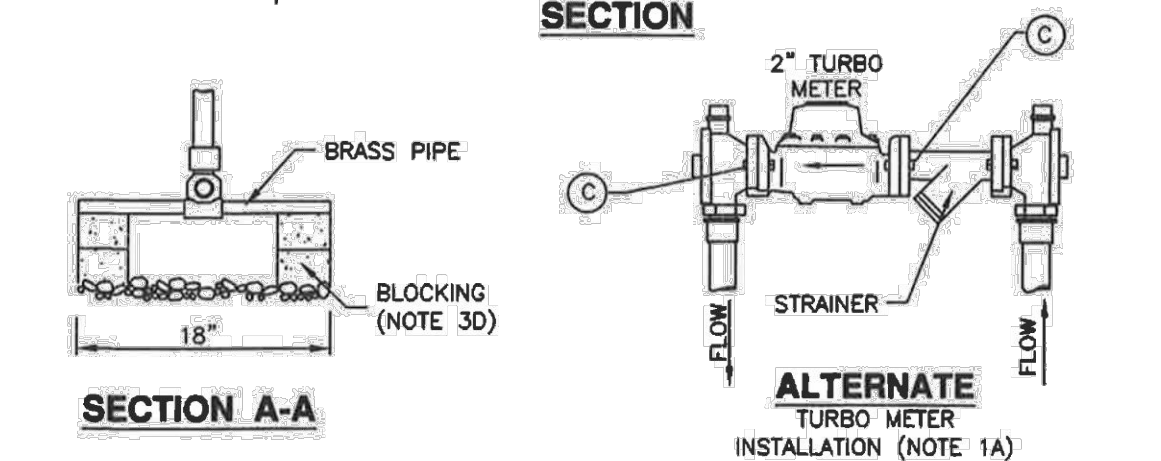
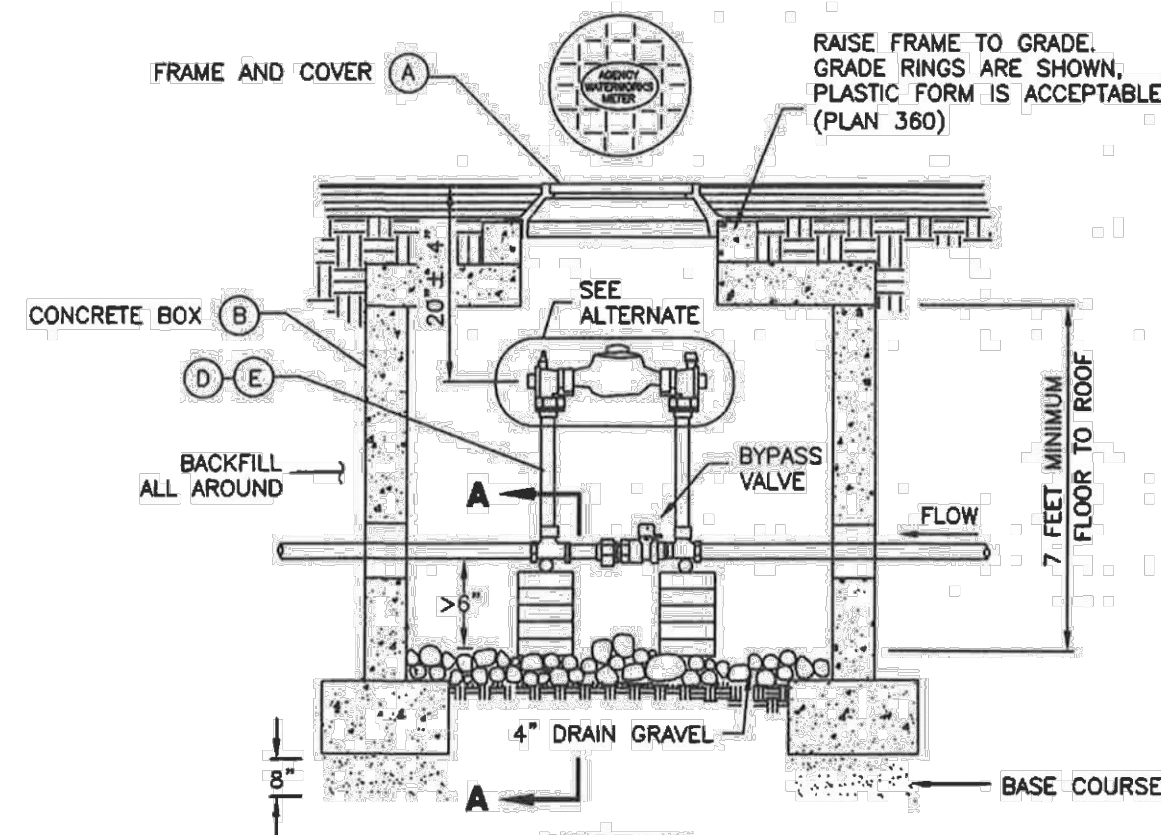
REVISION BLOCK	DATE	DESCRIPTION
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STORM DRAIN PROFILE PLAN

Scale: 1"=10'
Date: 11/08/2022
Sheet: PP1.0
Drawn: KJ
Job #: 22-0380



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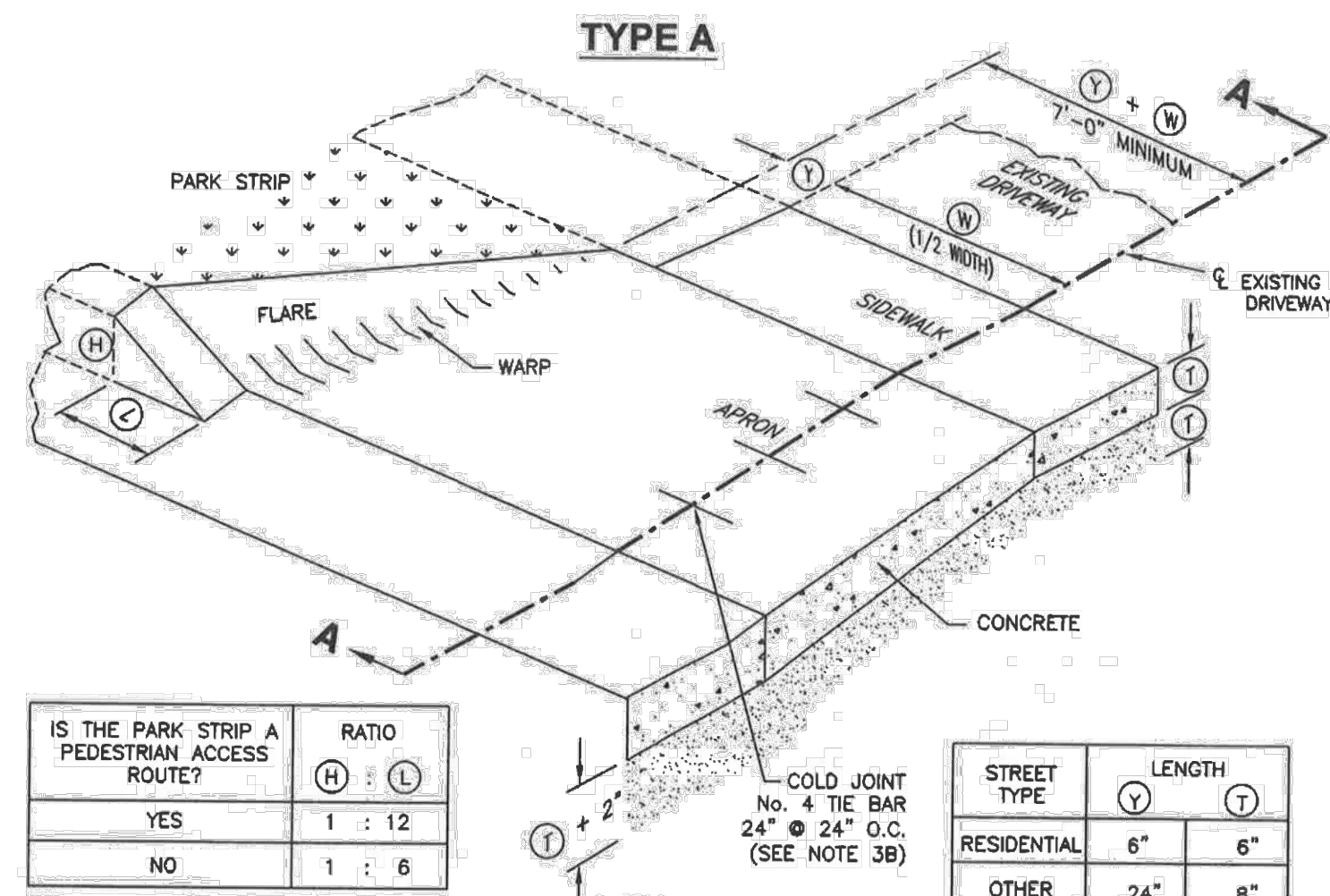
LEGEND		
No.	ITEM	DESCRIPTION
(A)	27" FRAME AND COVER	PLAN 502
(B)	CONCRETE BOX	PLAN 505
(C)	STAINLESS STEEL METER BOLTS	5/8" x 2 3/4" BRASS
(D)	1 1/2" CUSTOM SETTER WITH BYPASS	
(E)	2" CUSTOM SETTER WITH BYPASS	

* FURNISHED BY UTILITY AGENCY



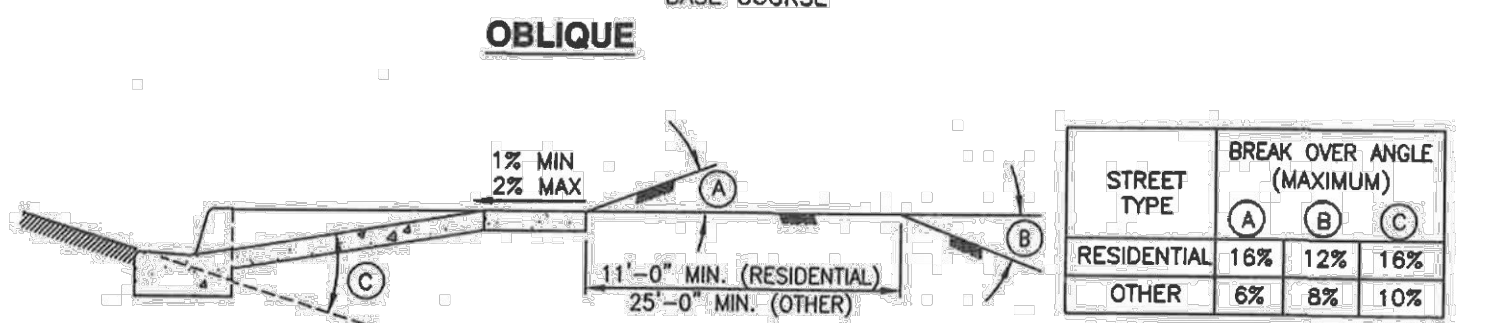
1 1/2" and 2" meter

Plan 522
August 2001

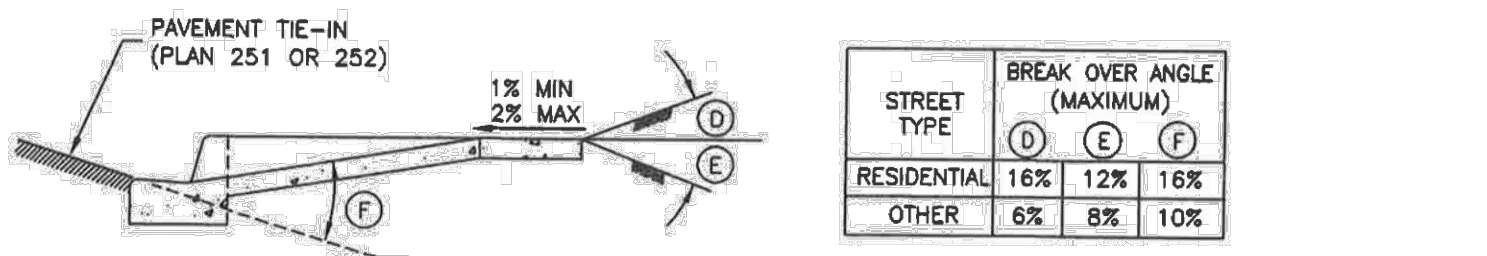


IS THE PARK STRIP A PEDESTRIAN ACCESS ROUTE?	RATIO
YES	H : L
YES	1 : 12
NO	1 : 6

STREET TYPE	LENGTH	
	(Y)	(T)
RESIDENTIAL	6"	6"
OTHER	24"	8"



SECTION A-A - APPROACH REQUIRING SERVICE TRUCK ACCESS

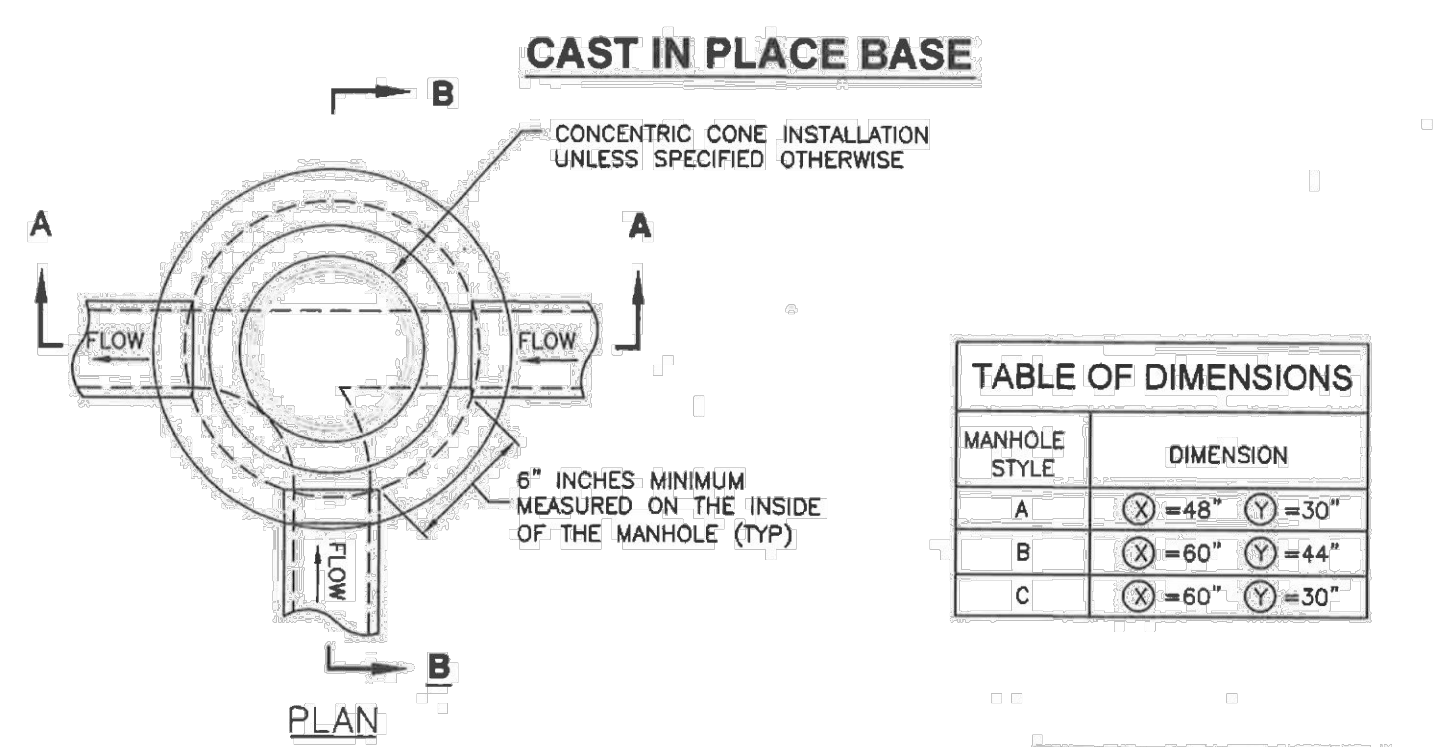


STREET TYPE	BREAK OVER ANGLE (MAXIMUM)		
	(A)	(B)	(C)
RESIDENTIAL	16%	12%	16%
OTHER	6%	8%	10%

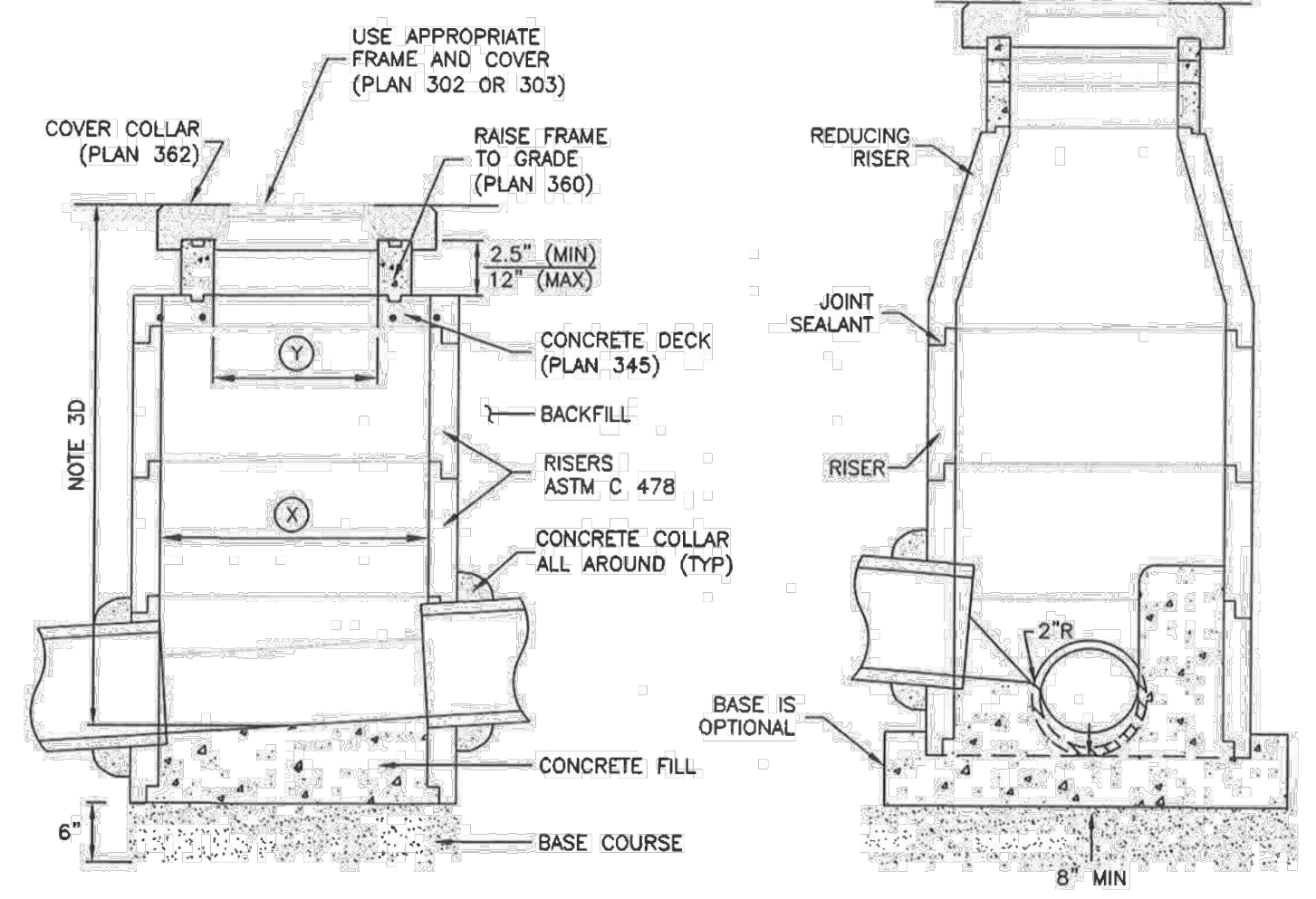


Flare driveway approach

Plan 221.1
December 2009



MANHOLE STYLE	DIMENSION
A	(X) = 48" (Y) = 30"
B	(X) = 60" (Y) = 44"
C	(X) = 60" (Y) = 30"



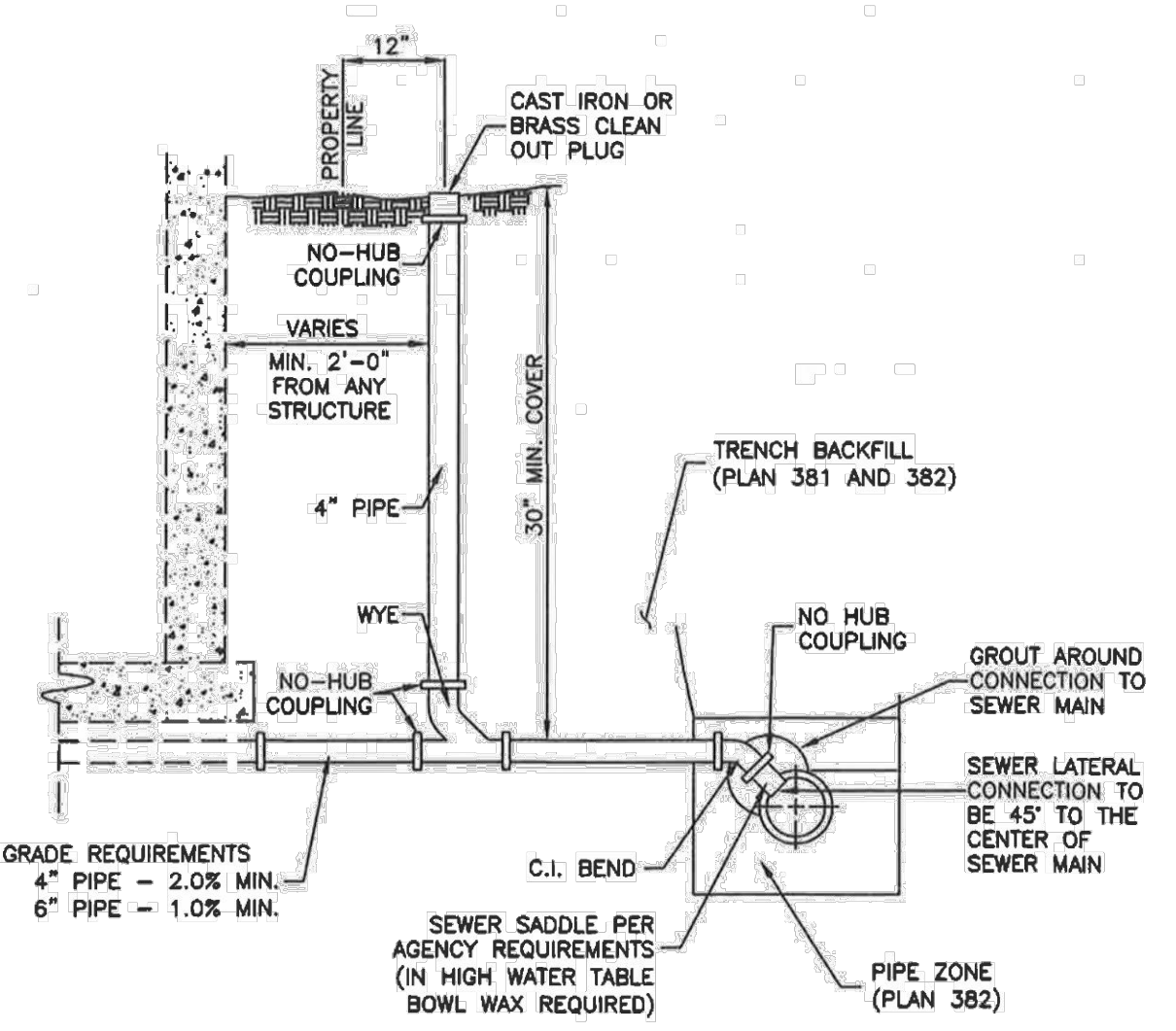
SECTION A-A (CONCRETE DECK OPTION)

SECTION B-B (REDUCING RISER OPTION)



Precast manhole

Plan 341.1
November 2010



Sewer lateral connection

Plan 431
January 2011

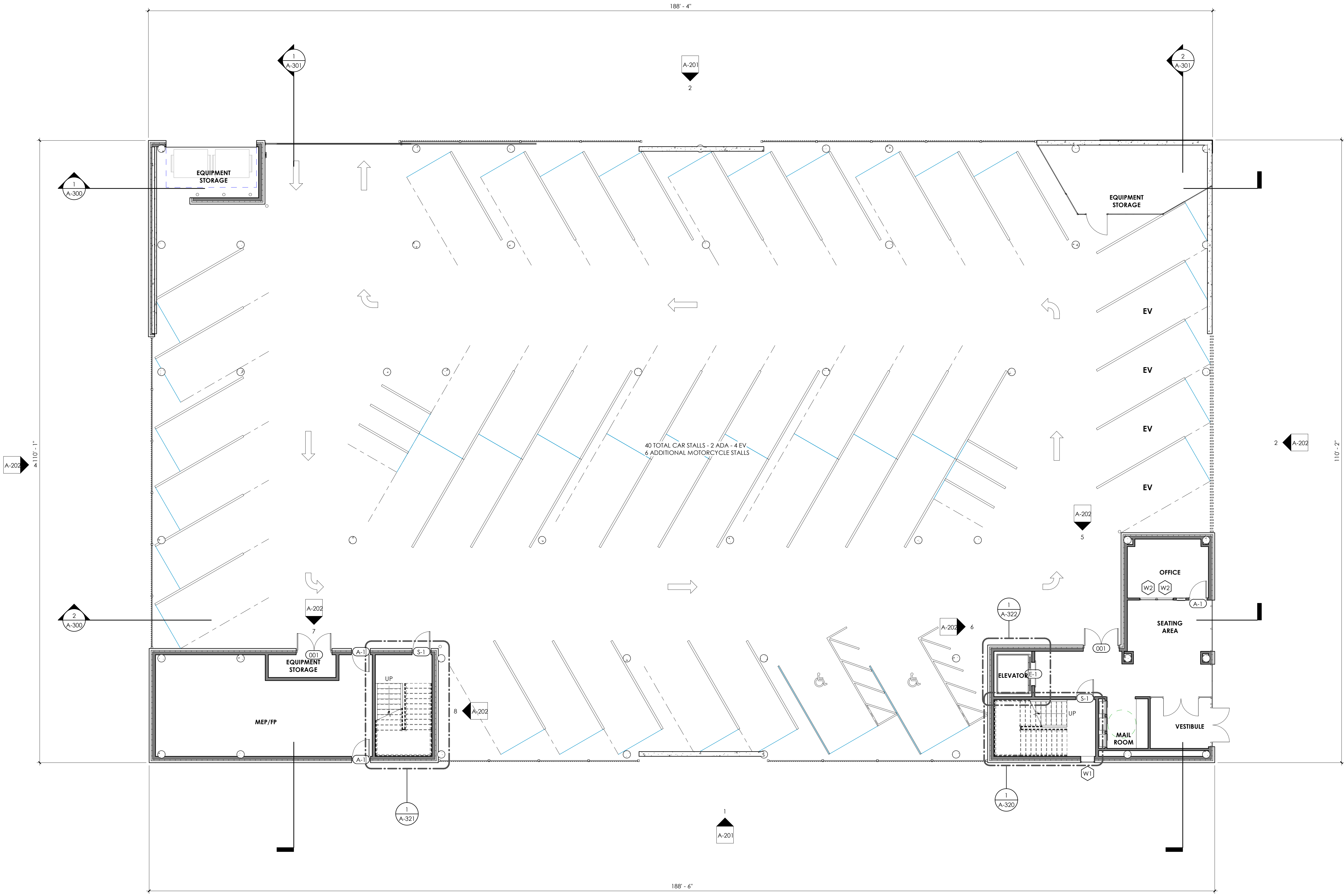


REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

Z:_2022\220380_1512 South 300 West\Design_22-0380\dwg\sheet\VD1.DETAILS.dwg



Revisions		
No.	Description	Date

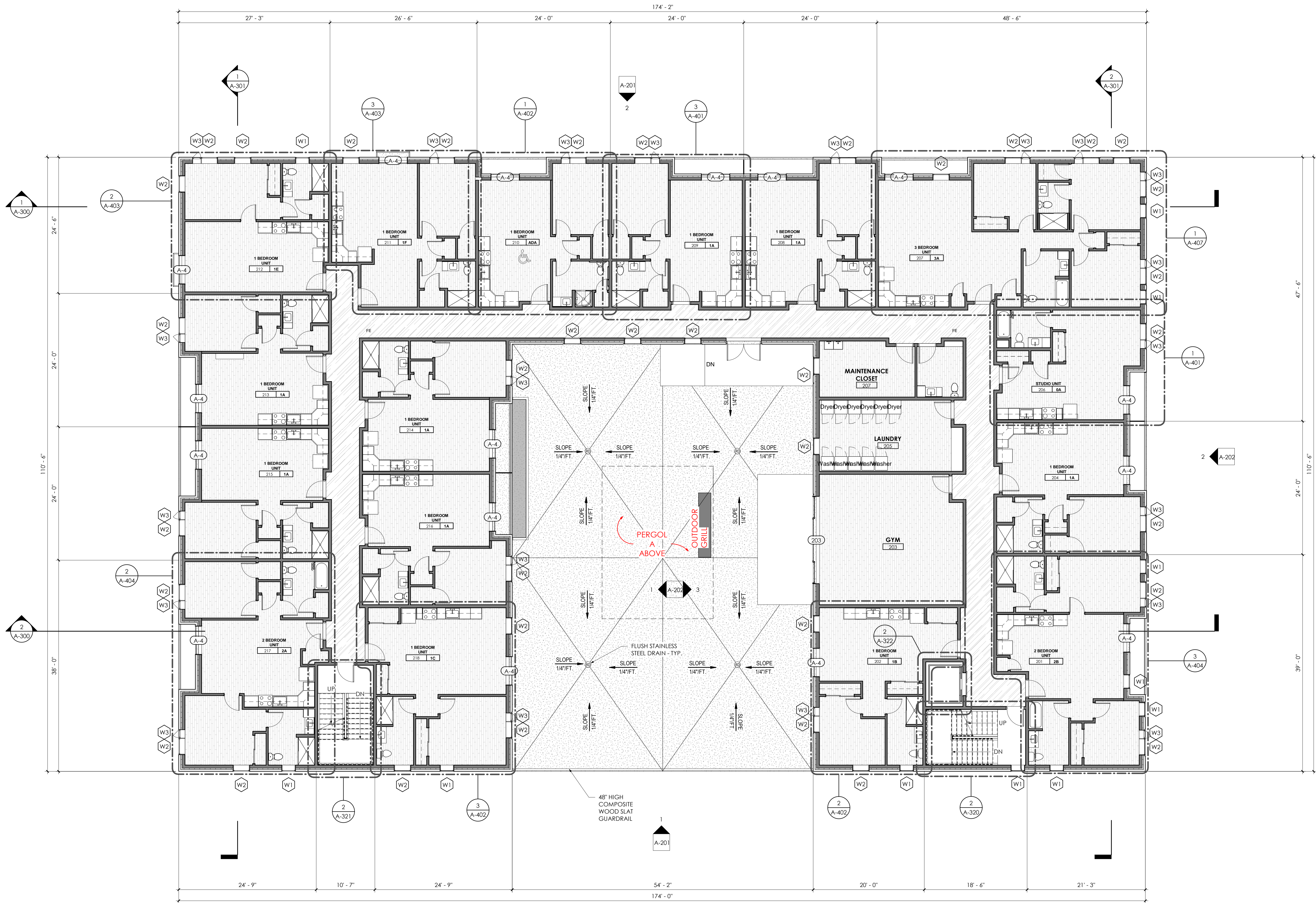


1 First Floor Plan
1/8" = 1'-0"

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1 Second Floor Plan
1/8" = 1'-0"

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801-263-1406

Platform 1500

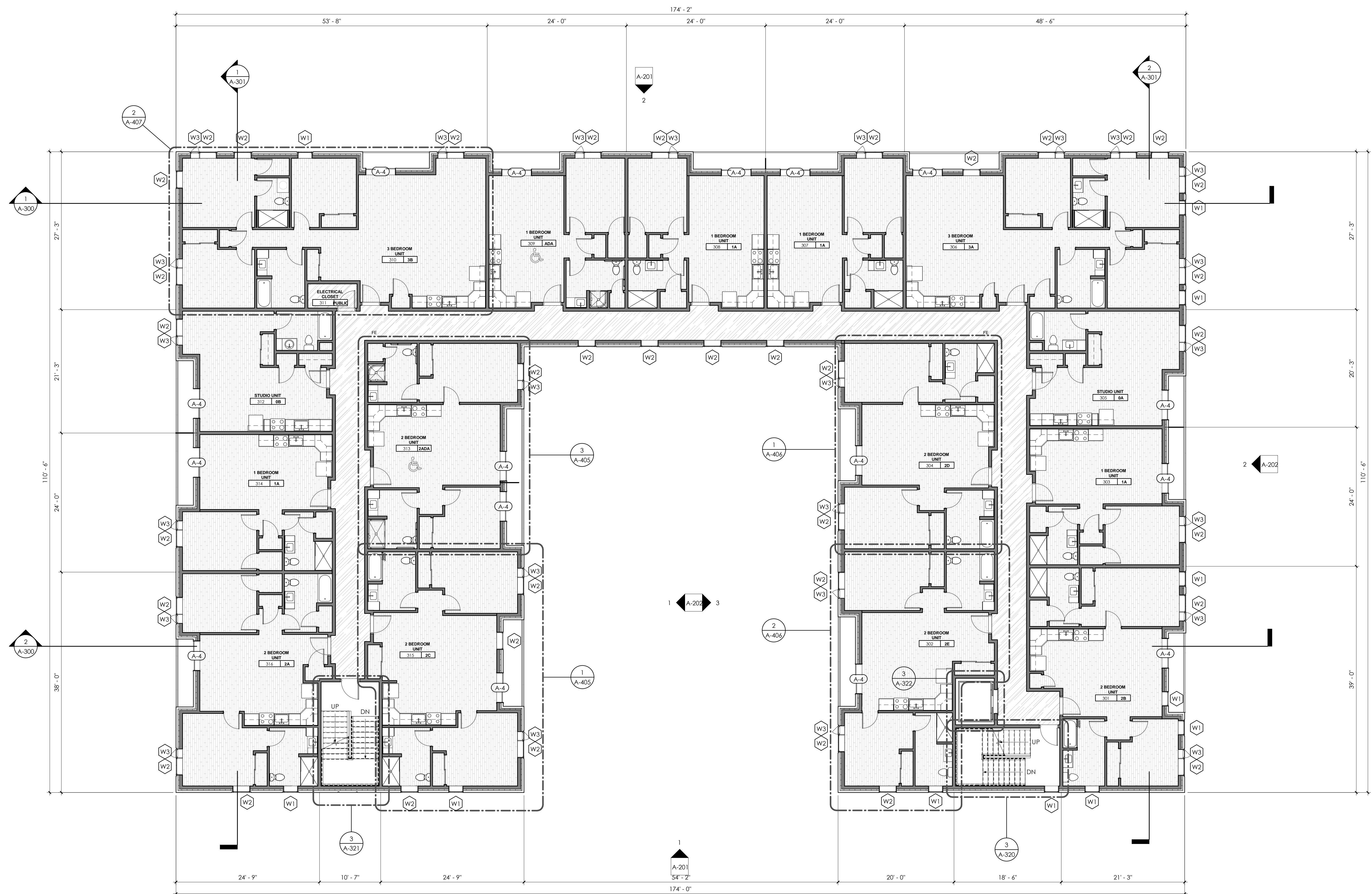
Platform 1500 LLC
1512 S 300 W
Salt Lake City, UT 84115

Design
Development
12.06.2022

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No.	Description	Date

THIRD FLOOR PLAN

Project No: 101.19
Client No:
Drawn by:
Sheet No:



1 Third Floor Plan
1/8" = 1'-0"

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Salt Lake City, UT 84115

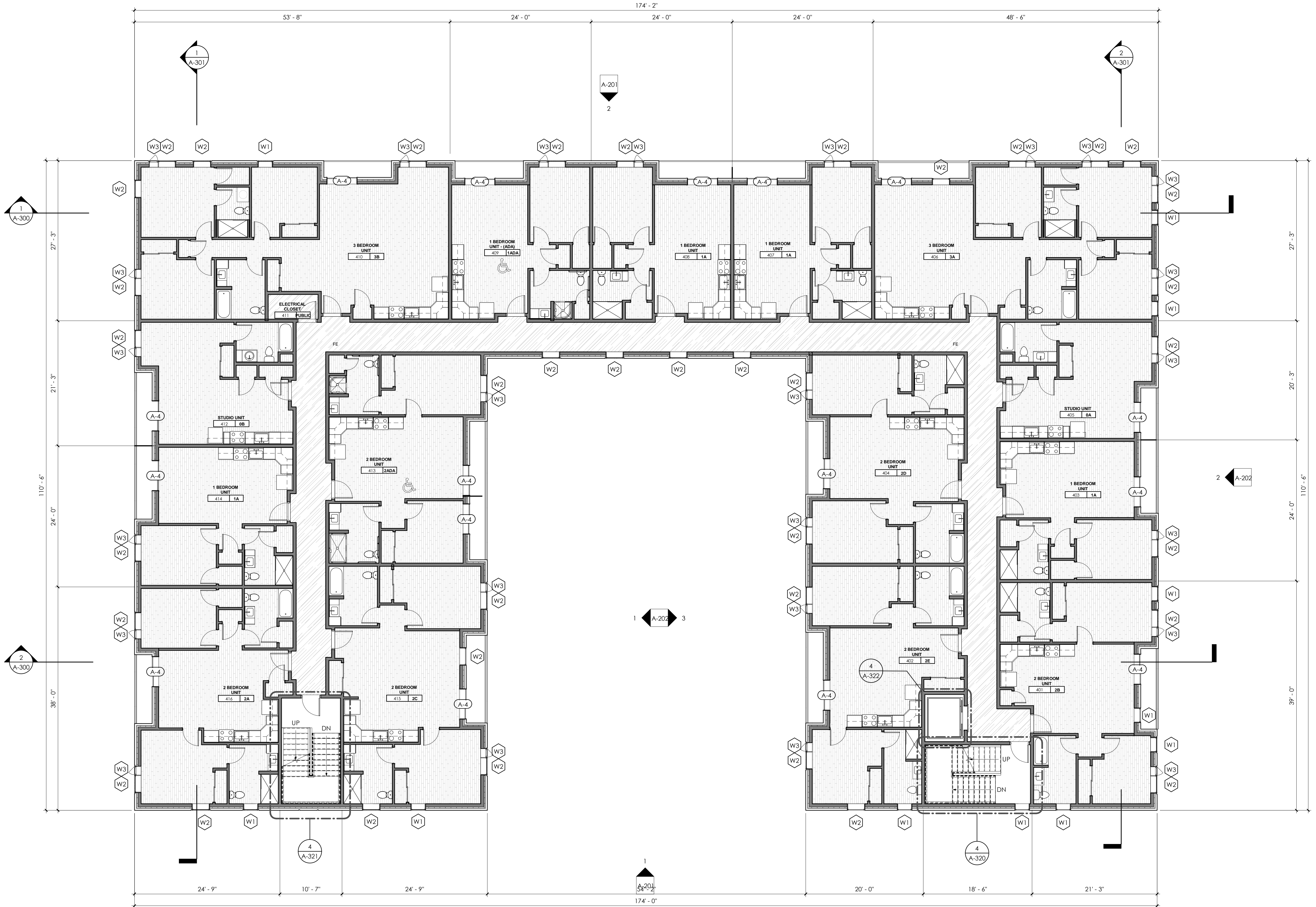
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Development
12.06.2022

No.	Description	Date

FOURTH FLOOR PLAN

Project No: 101.19
Client No:
Drawn by: Author
Sheet No:

A-104



1 Fourth Floor Plan
1/8" = 1'-0"

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Platform 1500

Platform 1500 LLC

1512 S 300 W
Salt Lake City, UT 84115

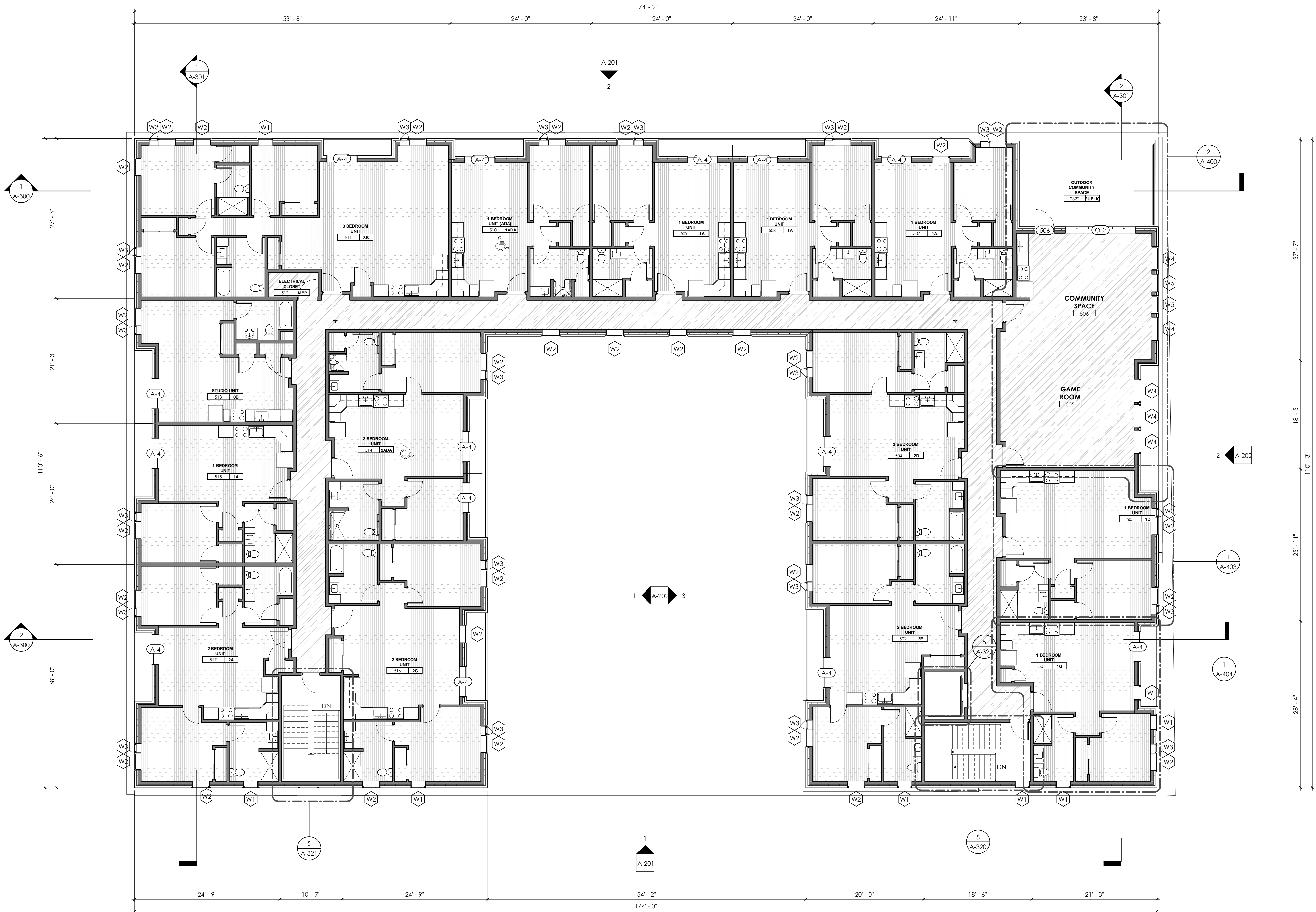
Design
Development
12.06.2022

No.	Description	Date

FIFTH FLOOR PLAN

Project No: 101.19
Client No:
Drawn by: Author
Sheet No:

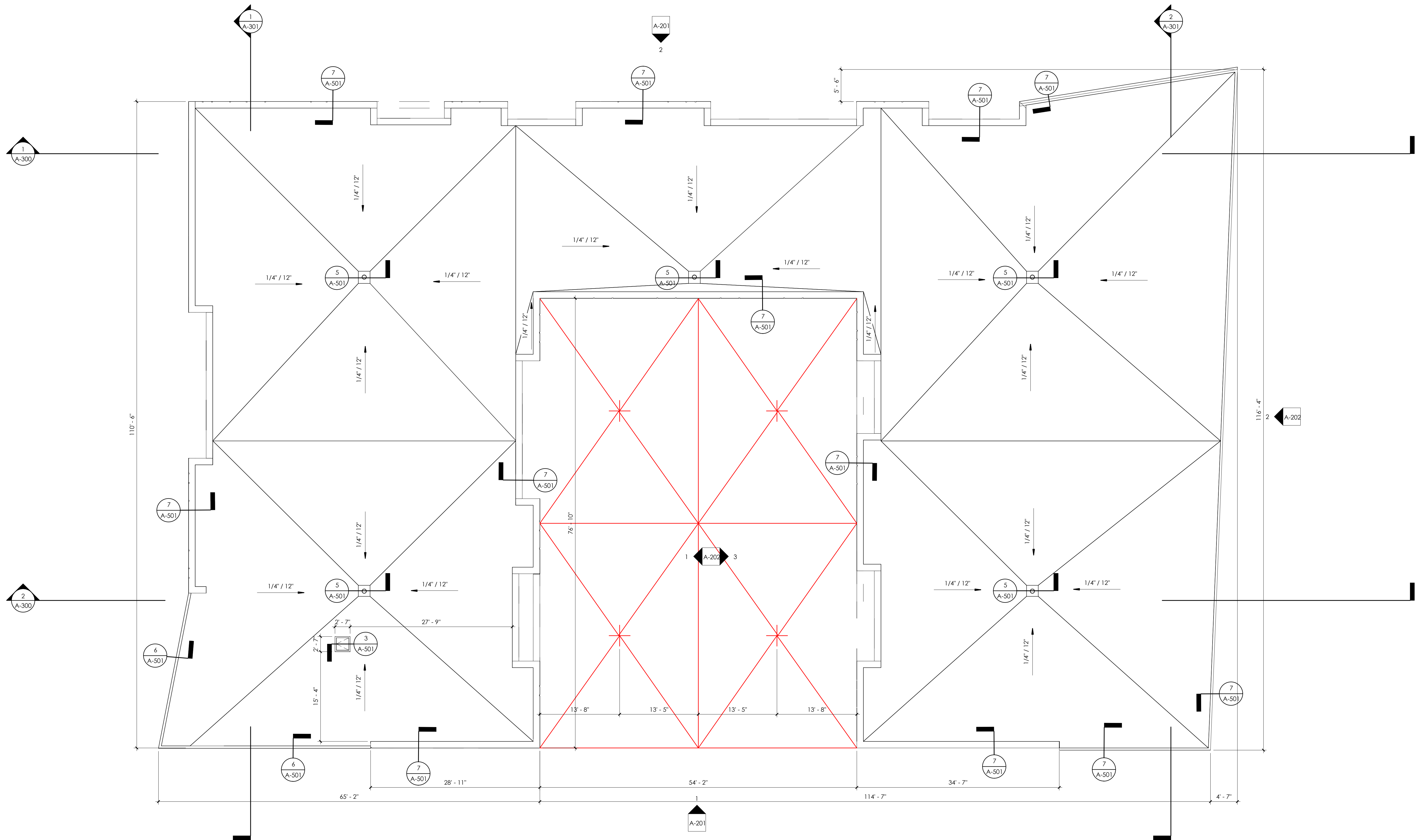
A-105



1 Fifth Floor Plan
1/8" = 1'-0"

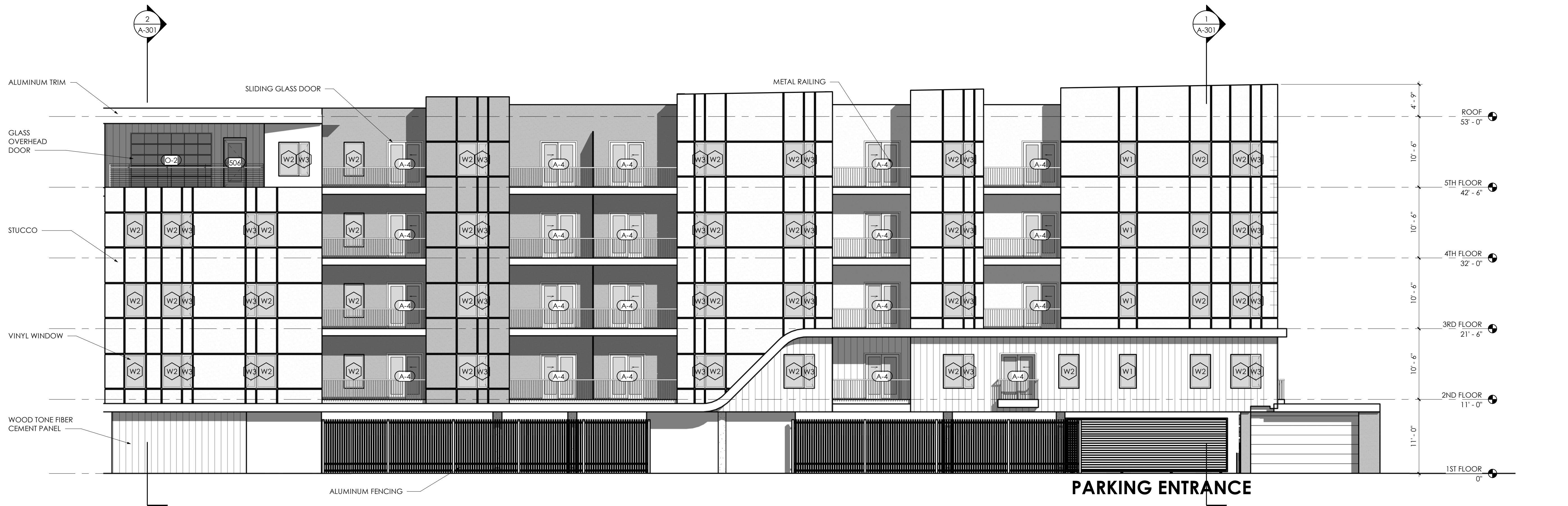
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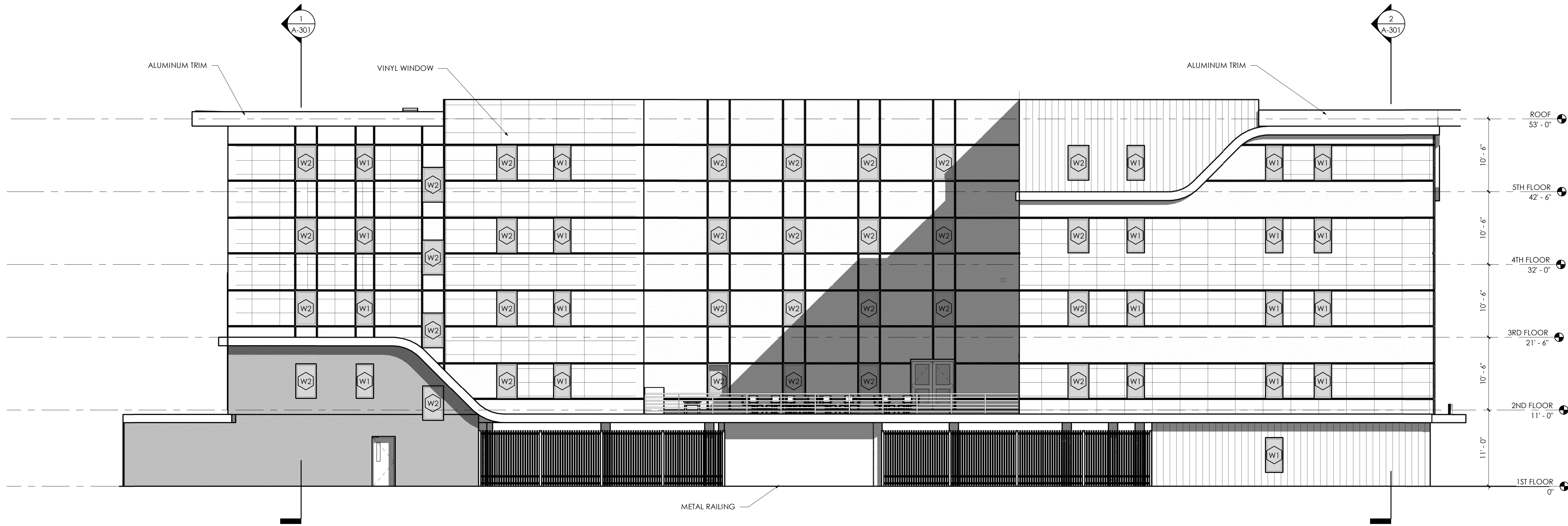


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2 North Elevation
1/8" = 1'-0"

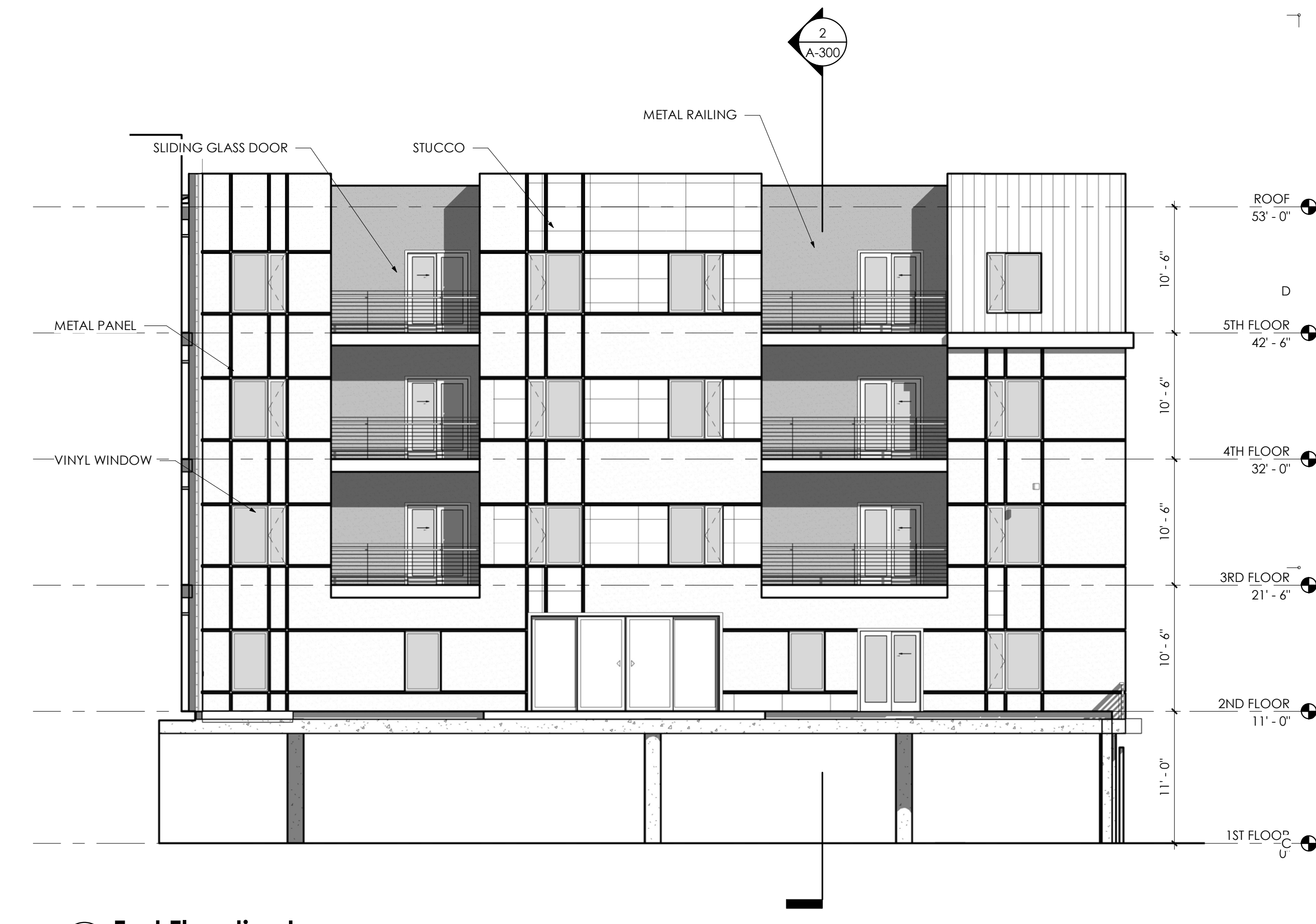


1 South Elevation
1/8" = 1'-0"

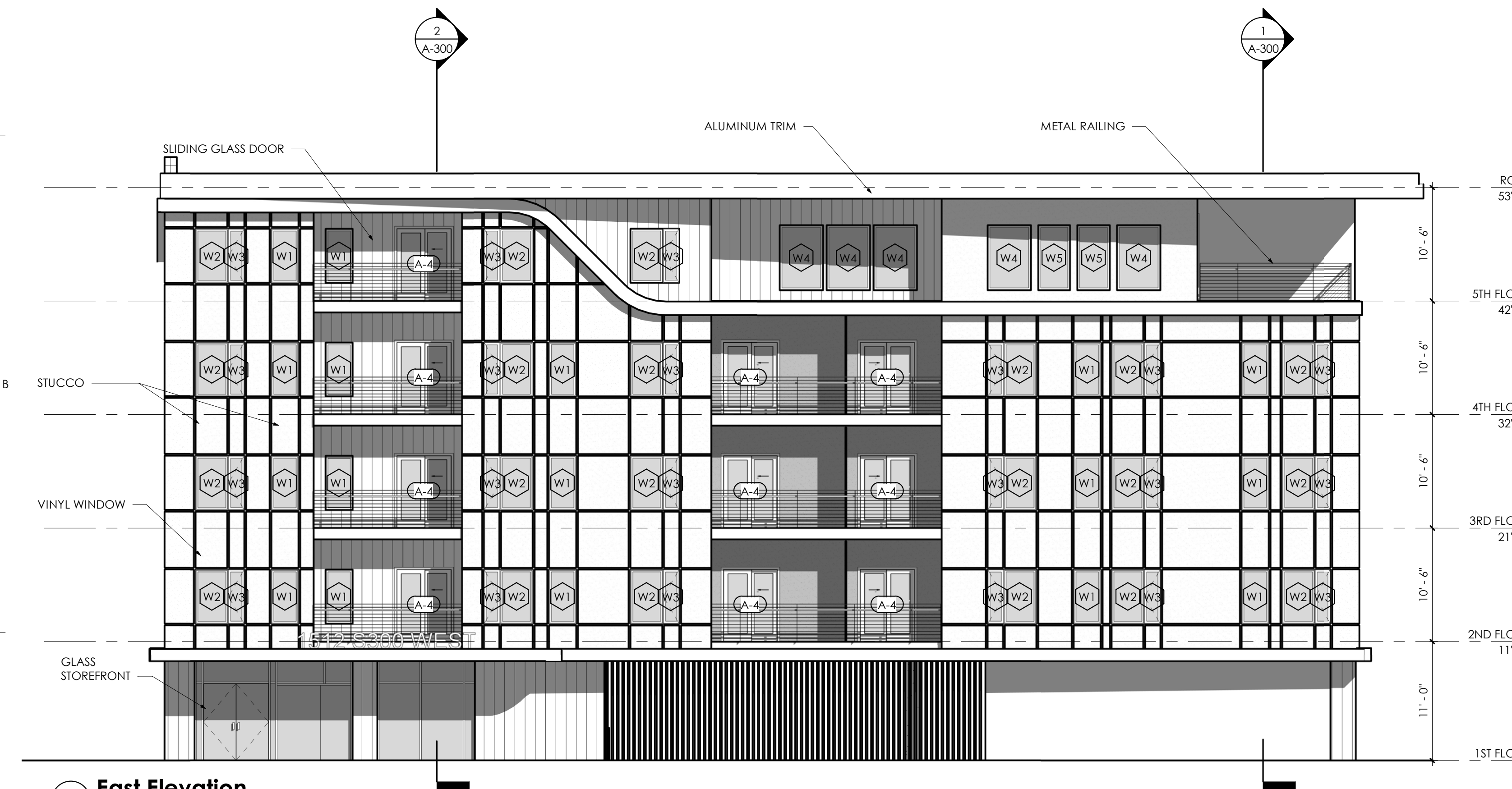
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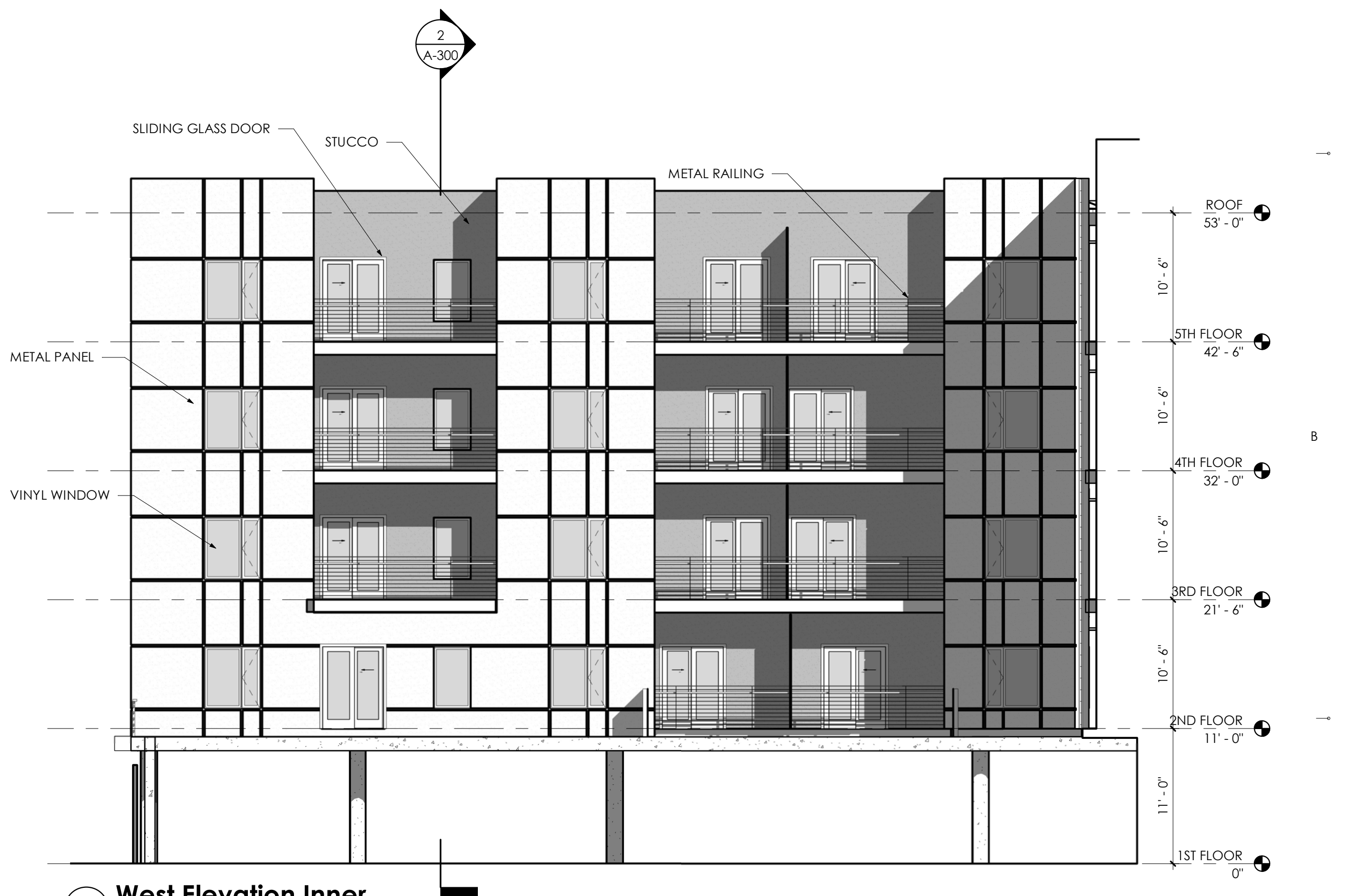
4 West Elevation
1/8" = 1'-0"



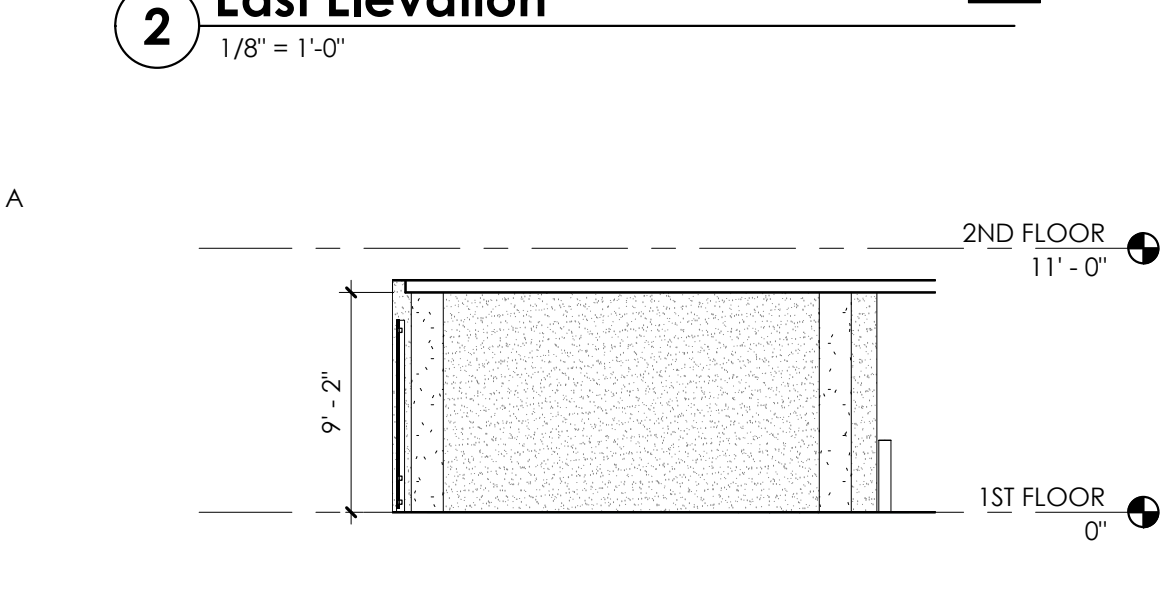
3 East Elevation Inner
1/8" = 1'-0"



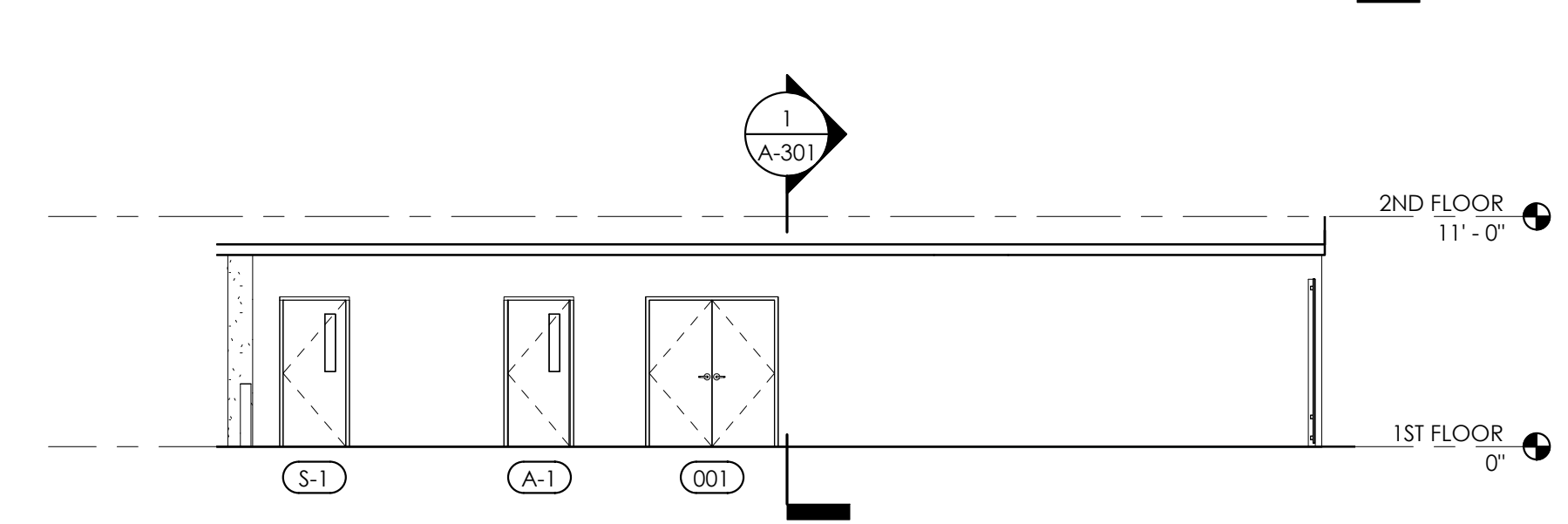
2 East Elevation
1/8" = 1'-0"



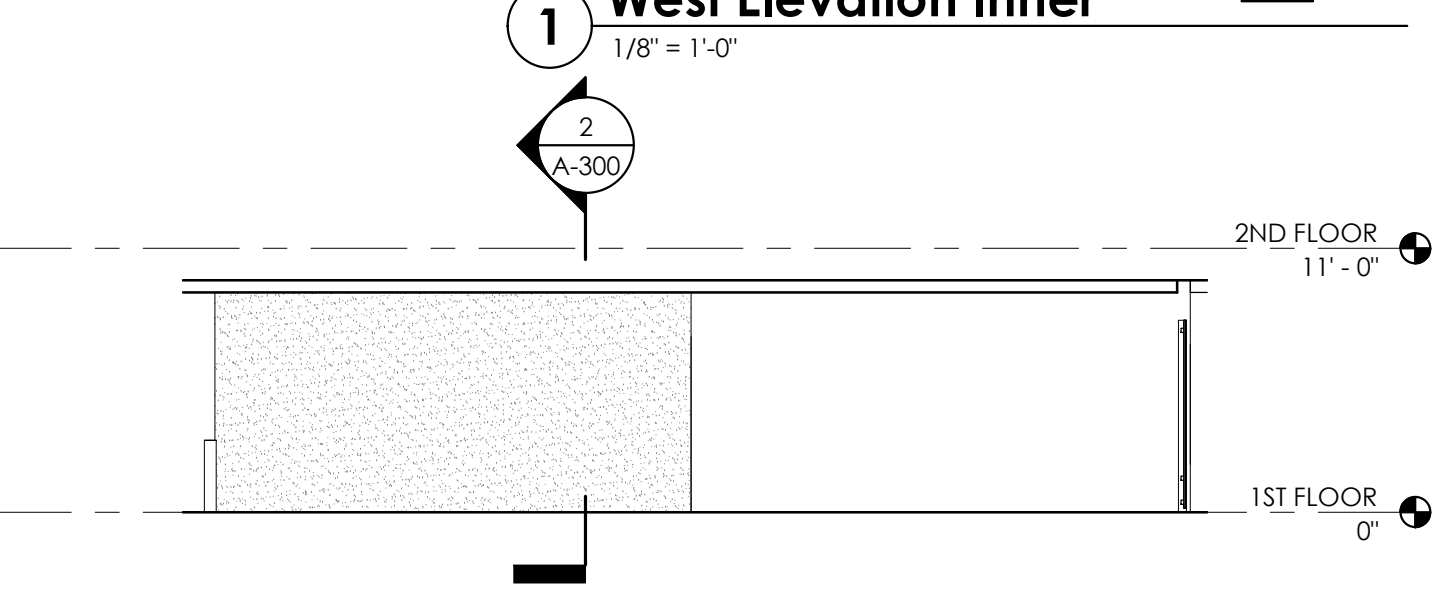
1 West Elevation Inner
1/8" = 1'-0"



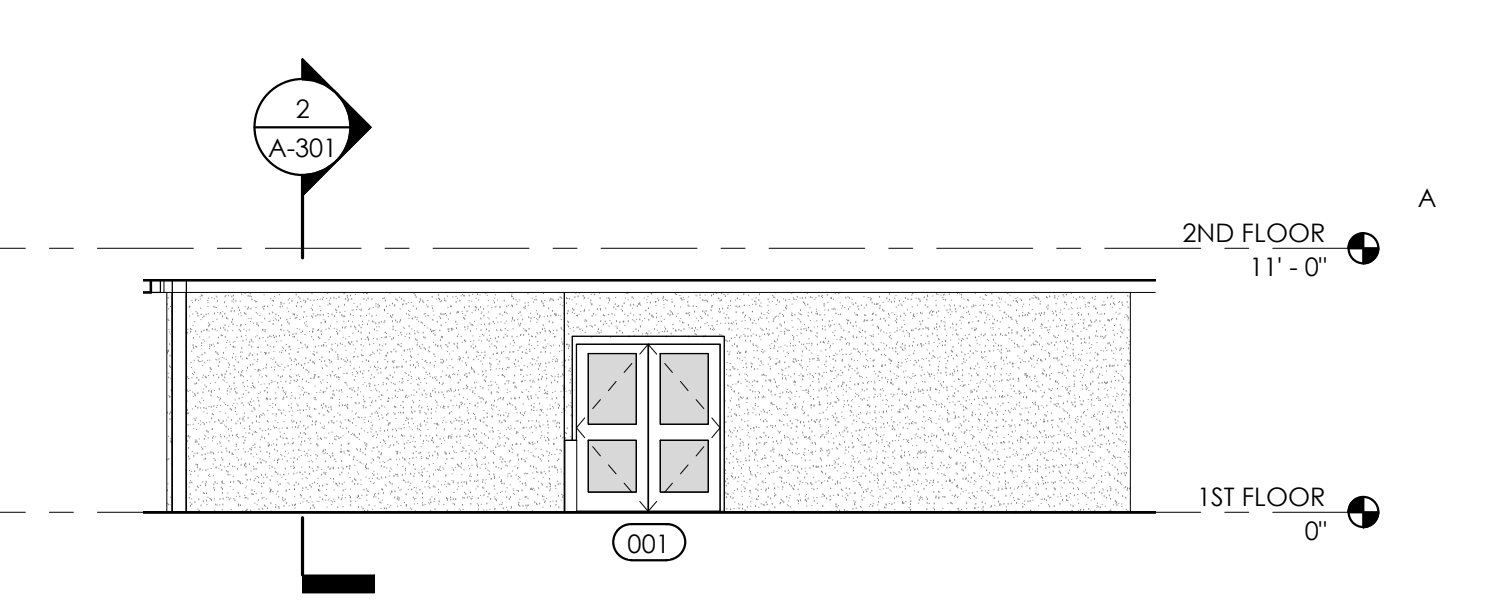
8 PARTIAL ELEVATION - EAST MEP
1/8" = 1'-0"



7 PARTIAL ELEVATION NORTH MEP
1/8" = 1'-0"



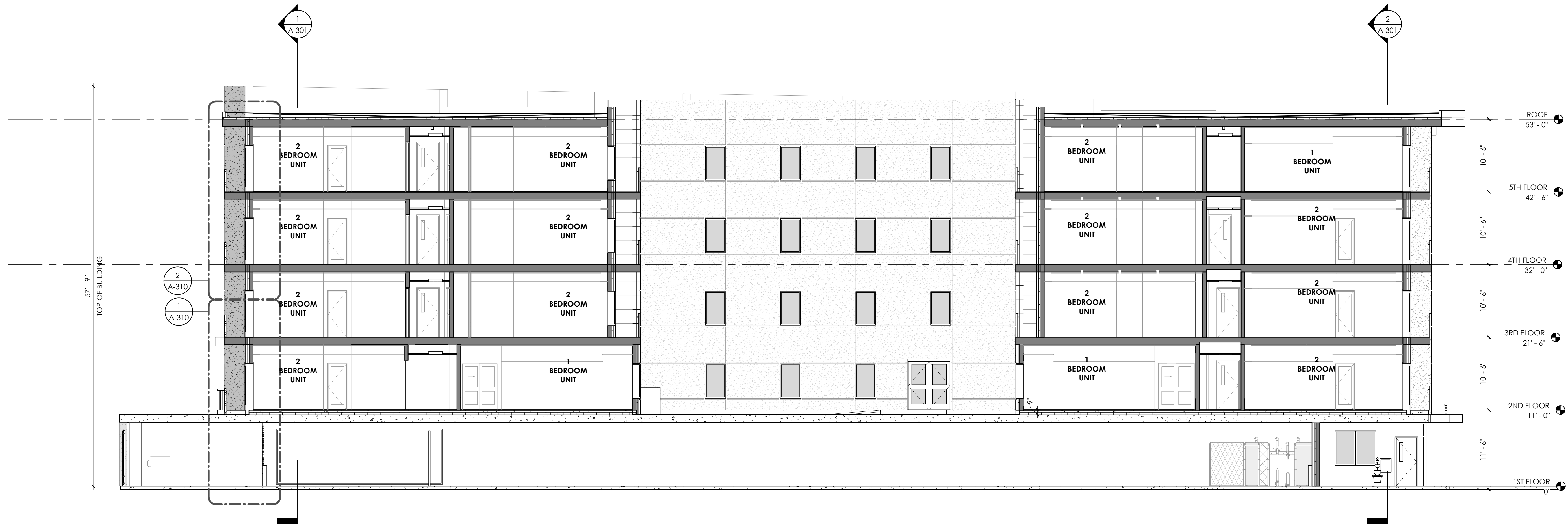
6 PARTIAL ELEVATION - WEST LOBBY
1/8" = 1'-0"



5 PARTIAL ELEVATION - NORTH LOBBY
1/8" = 1'-0"

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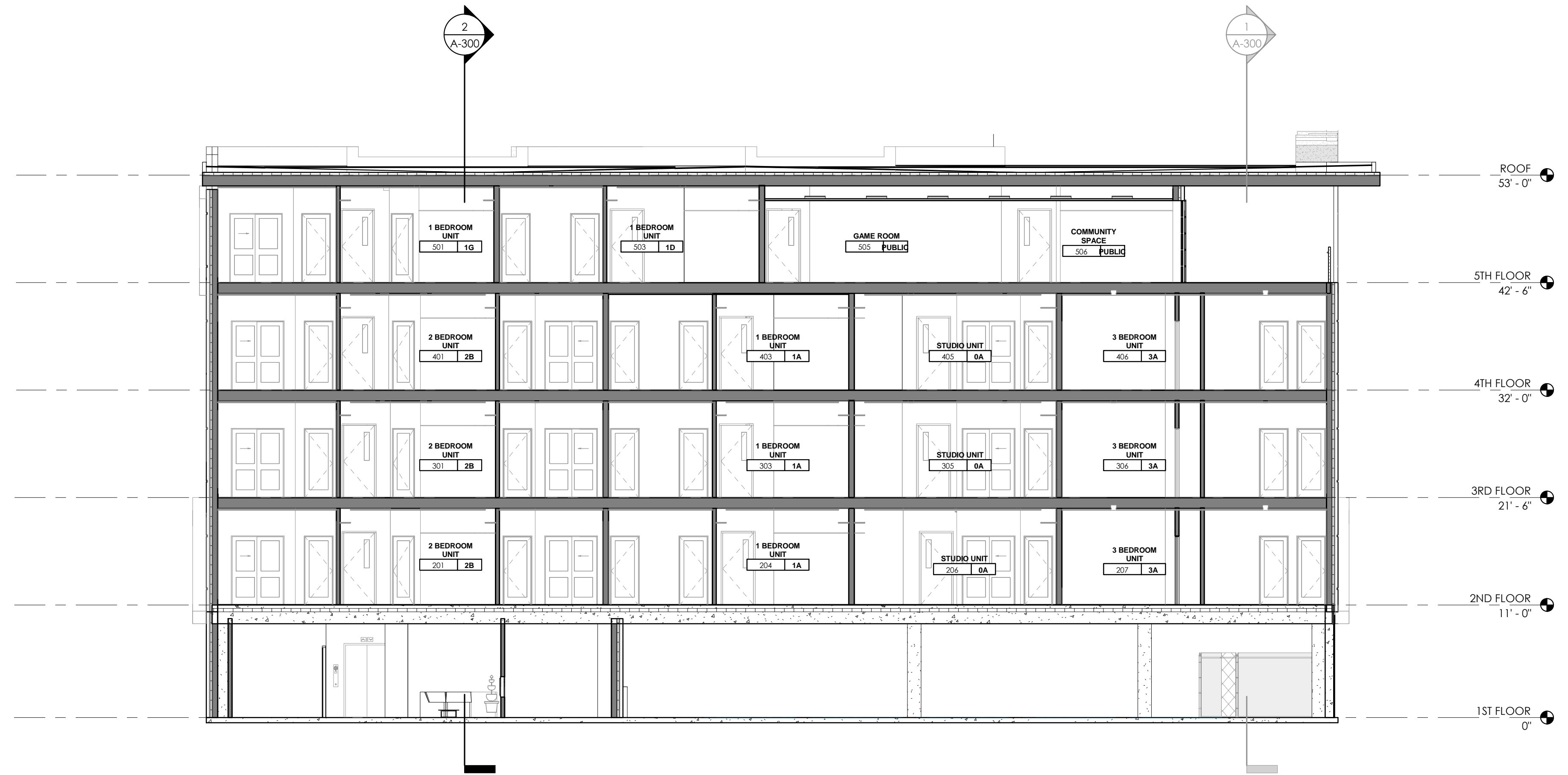


2 Building Section
1/8" = 1'-0"

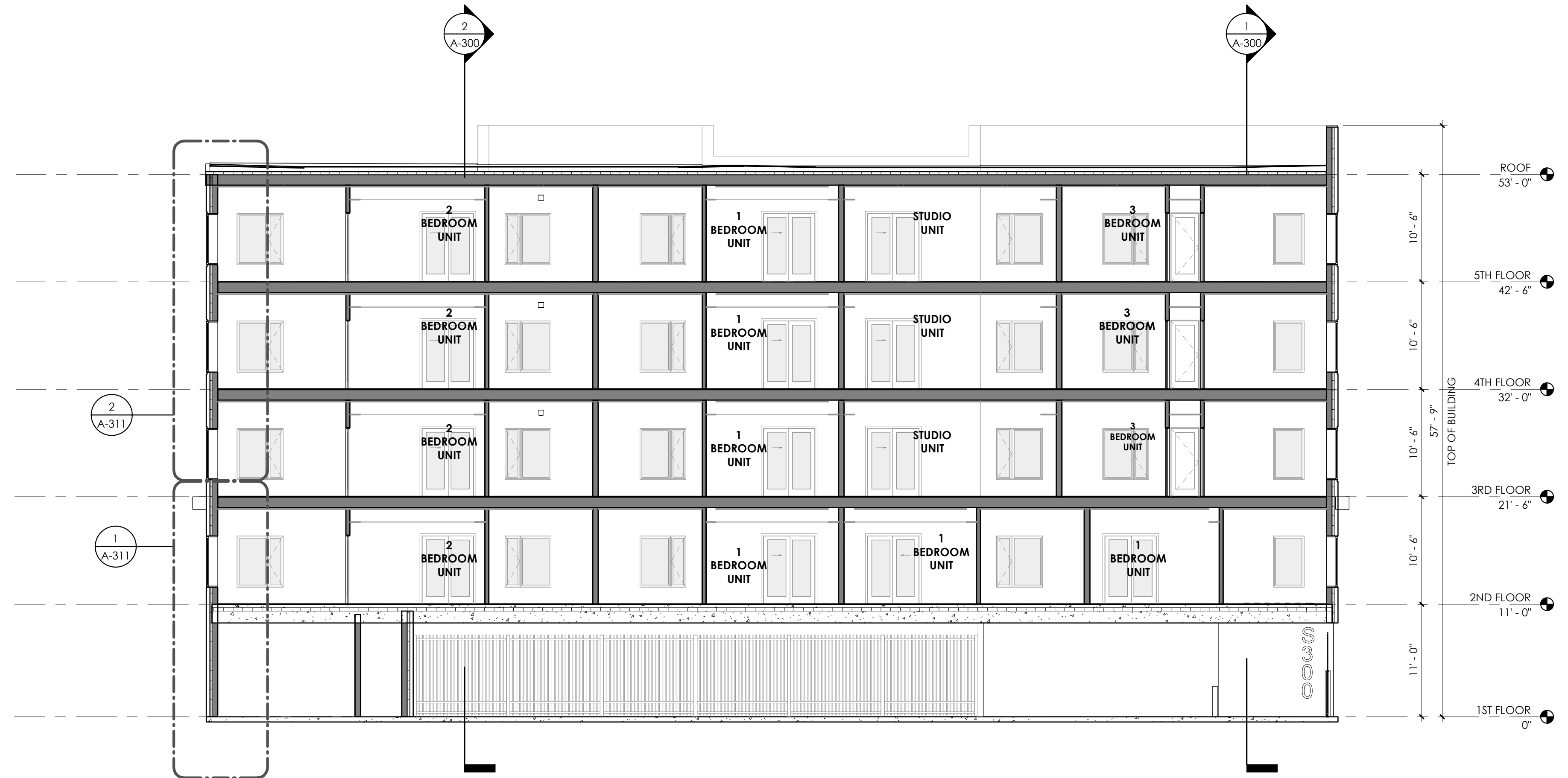


1 Building Section
1/8" = 1'-0"

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No.	Description	Date



2 Building Section
1/8" = 1'-0"



1 Building Section
1/8" = 1'-0"

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